

# SUE BIERMAN PARK HISTORIC RESOURCES REVIEW (HRR) REPORT

SAN FRANCISCO, CALIFORNIA  
[24146A]

PREPARED FOR  
SAN FRANCISCO RECREATION AND PARK DEPARTMENT

SUBMITTED TO  
SAN FRANCISCO PLANNING DEPARTMENT

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## I. PROPERTY INFORMATION

This Historic Resources Review (HRR) application and report has been prepared for Sue Bierman Park (Block/Lots 0202/006, 0202/015, 0202/018, 0202/019, 0202/020, 0203/014, and 0203/013) in San Francisco's Financial District (**Figure 1**). Sue Bierman Park is a public city park maintained by the Recreation and Park Department (RPD), is zoned P (Public) and is in an Open Space height and bulk district. The two-block park is bounded by Washington Street to the north, The Embarcadero to the east, Clay Street to the south, and Davis Street to the west.

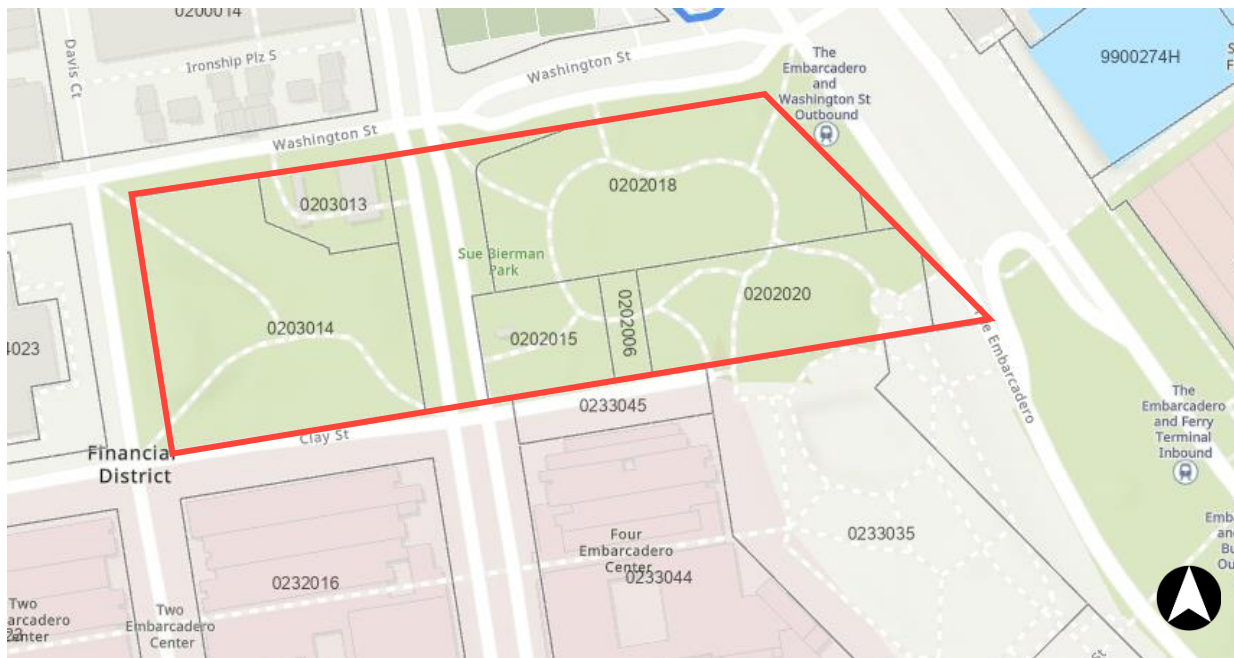


Figure 1. Parcel map with the boundaries of Sue Bierman Park outlined with red line. Source: San Francisco Property Information Map, edited by Page & Turnbull.

Sue Bierman Park was originally known as Justin Herman Park Phase II and constructed as part of the Golden Gateway redevelopment project (officially, Embarcadero-Lower Market Project Area E-1), under the auspices of the San Francisco Redevelopment Agency (SFRA).<sup>1</sup> The park was designed by landscape architect Lawrence Halprin & Associates in a joint venture with architects Mario Ciampi and John Savage Bolles in 1974 and, at the time, surrounded the on and off ramps to the double-decker Embarcadero Freeway. The freeway and its on and off-ramps were demolished in 1991, following the 1989 Loma Prieta Earthquake. The park was renamed to Sue Bierman Park in 2007 and redesigned by ROMA Design Group in 2012. Sue Bierman (1934-2006) was a civic leader in San Francisco who served on the San Francisco Planning Commission, the Board of Supervisors, and the

<sup>1</sup> During earlier planning phases, the park was referred to as Ferry Park, along with what is now known as Embarcadero Plaza.

Port Commission. Bierman was known for championing the preservation of the city's open spaces and for her involvement in the movement against freeway expansion.

Sue Bierman Park occupies two adjacent city blocks separated by Drumm Street (**Figure 2**). The easternmost park block, closest to The Embarcadero, is irregular in shape and bounded by Washington Street to the north, Drumm Street to the south, Clay Street and Embarcadero Plaza North to the west, and The Embarcadero to the east. The east park block features low, mostly flat topography with a small knoll at the southeastern corner. The block is covered by areas of grass lawn with curvilinear paths made of large, concrete pavers. The paths form a peanut shape at the center with secondary paths branching off towards the perimeter of the block. At the northern side, there is a playground area surrounded by plantings and a metal fence. Trees are dispersed throughout the edges of the lawn, with several clusters of mature poplars, deciduous saplings, and an evergreen tree at the northwest corner. Along the eastern sidewalk bordering The Embarcadero, there is a row of Canary Island date palms. Other landscape features include standard metal benches, a semi-circular driveway and curbs, and metal lamp posts.

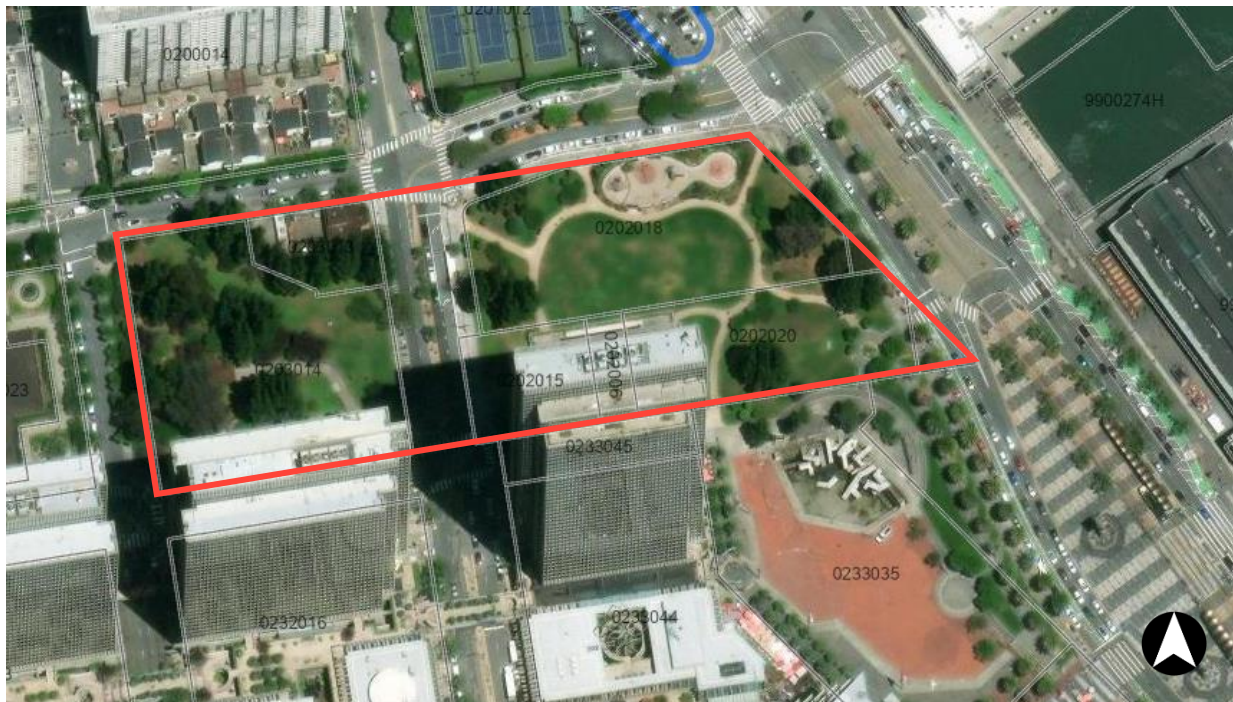


Figure 2. Parcel map with the boundaries of Sue Bierman Park outlined with red line. Source: San Francisco Property Information Map, edited by Page & Turnbull.

The western park block is rectangular and bounded by Washington Street to the north, Davis Street to the west, Clay Street to the south, and Drumm Street to the east. In the northeast corner of the



park block, there is a pump house utility building managed by the San Francisco Public Utilities Commission (PUC) that predates the original park design by Lawrence Halprin; the one-story building has a flat roof with overhanging eaves and pebble-aggregate concrete panel walls. At the western side of the pump building, there is a chain link fence that encloses a paved driveway. The west park block is mostly covered with grass lawn, with areas of dense shrub and tree plantings clustered around a knoll located at the southwest corner. It features several paved paths with both rectilinear and curvilinear arrangements, along with a small network of “desire paths” within the areas of dirt ground cover. At the southeastern corner of the parcel, there is a rectangular area of concrete with six evenly spaced trees. Along the west side of the park block there is a board-formed concrete retaining wall with stepped planting terraces. Other landscape features include wood curbs bordering planting beds and metal lamp posts. Mature poplar and eucalyptus trees are clustered throughout the block, along with deciduous saplings, a trumpet flower tree, and other ornamental shrubs. The surrounding blocks include One Maritime Plaza (1967) to the west, the Ferry Building, and piers along The Embarcadero to the east; The Gateway and the Bay Club Gateway tennis courts to the north; Embarcadero Plaza North, Vaillancourt Fountain, and the Embarcadero Center (1971-1981) to the south.

This HRR provides a summary of the existing historic status, current photographs of the site and surrounding properties, chronology of development history and subsequent alterations, and an evaluation of Sue Bierman Park as a potential historic resource.

## Existing Historic Status

According to the San Francisco Property Information Map, the parcels comprising Sue Bierman Park are currently assigned a Planning Department Historic Resource Status of “B - Unknown/Age Eligible.”<sup>2</sup> Sue Bierman Park is not currently listed in the National Register of Historic Places, California Register of Historical Resources, or as a local Article 10 Landmark. The property is not located within any designated or identified eligible historic district. The subject property is not currently listed in the State of California Built Environment Resource Directory (BERD) database for San Francisco City and County with a status code.<sup>3</sup> Sue Bierman Park was evaluated in the 1976 Department of City Planning Architectural Quality Survey (1976 DCP Survey) and was given a survey rating of “3.”<sup>4</sup> The park has not previously been evaluated for historic resource eligibility for listing in the National Register or California Register.

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<sup>2</sup> San Francisco Planning Department, Property Information Map, <https://sfplanninggis.org/pim/>.

<sup>3</sup> The most recent update to the BERD database was in March 2020.

<sup>4</sup> The 1976 Architectural Quality Survey (1976 Survey) is what is referred to in preservation parlance as a “reconnaissance” or “windshield” survey. The survey looked at the entire City and County of San Francisco to identify and rate architecturally significant buildings and structures on a scale of -2 (detrimental) to +5 (extraordinary). No research was performed and the potential historical significance of a resource was not considered when a rating was assigned. Buildings rated 3 or higher in

## Current Photographs

### PROPERTY/ARCHITECTURAL PHOTOGRAPHS

All photographs were taken by Page & Turnbull on March 27, 2025, unless otherwise stated.

#### East Park Block

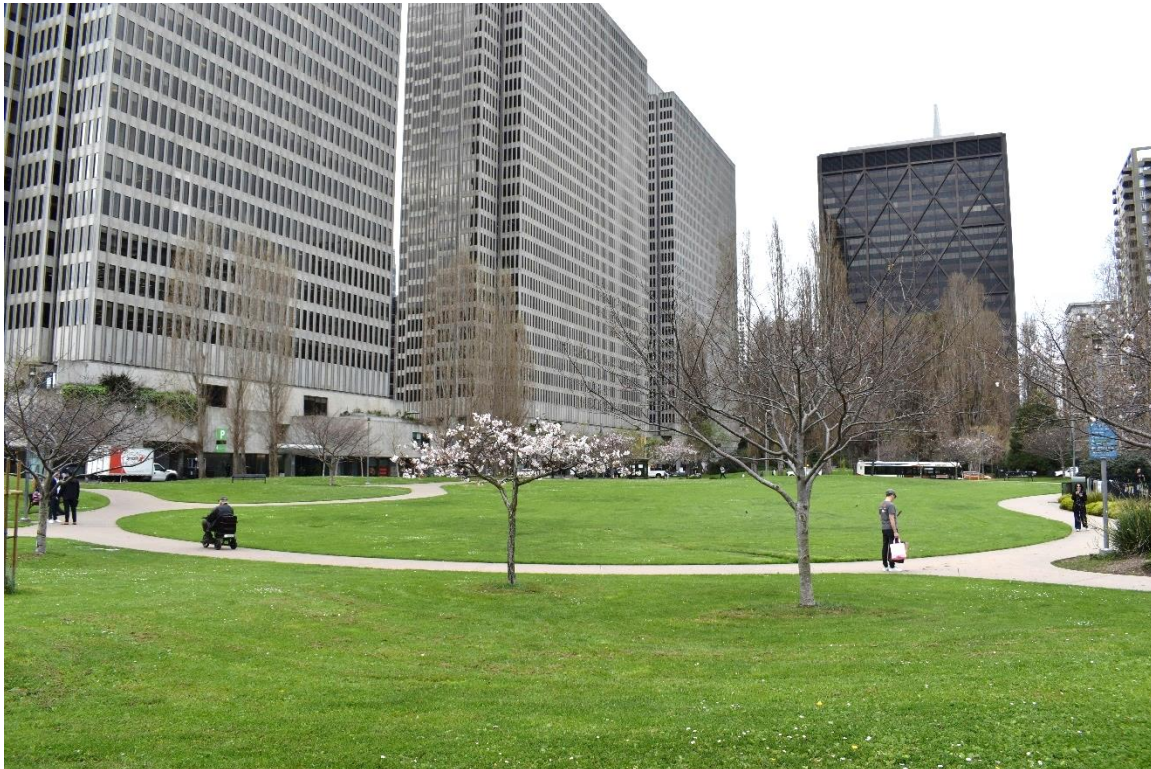


Figure 3. Context view of Sue Bierman Park (east park block). View southwest.

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the survey represent approximately the top two percent of San Francisco's building stock in terms of architectural significance. Summary ratings of 0 or 1 are generally interpreted to mean that the property has some contextual importance. However, it should be noted here that the 1976 Survey has come under increasing scrutiny over the past decade due to the fact that it has not been updated in over twenty-five years. As a result, the 1976 Survey has not been officially recognized by the San Francisco Planning Department as a valid local register of historic resources for CEQA purposes. San Francisco Planning Department, Property Information Map, <https://sfplanninggis.org/pim/>.





Figure 4. Context view of Sue Bierman Park and curvilinear paths. View west.



Figure 5. View of the northeast quadrant of Sue Bierman Park. View north.



Figure 6. View of the southern side of Sue Bierman Park. View west.



Figure 7. View of the southern edge of the park. View west.



Figure 8. Cobblestone section of Clay Street north of Four Embarcadero Center has a semi-circular projection into the park with concrete steps. View west.



Figure 9. View of the southern edge of the park with a grove of mature poplar trees. View west.





Figure 10. Context view of the sidewalk entrance to the eastern block of Sue Bierman Park at the southwestern corner. View northeast.



Figure 11. Public toilet building. View northwest.



Figure 12. View of central pedestrian pathways. View east.



Figure 13. View of central pedestrian paths, with the playground and plantings in the background. Typical lamp post visible at left. View east.



Figure 14. Detail view of the playground at the north side of the east block of Sue Bierman Park. View west.



Figure 15. Detail view of typical bicycle racks. View east.





Figure 16. Detail view of plantings at the northeastern corner of the park. View west.



Figure 17. Detail view of rounded curb at the south side of the west park block. View east.



Figure 18. Detail view of a typical metal park bench. View southwest.



Figure 19. Viewshed of the San Francisco Bay, with Yerba Buena Island and the East Bay hills visible in the background (photo taken from Harry Bridges Plaza). View east.



Figure 20. Viewshed of Coit Tower and Telegraph Hill. View northwest.

## West Park Block



Figure 21. Context view of Sue Bierman Park (west park block). View west.





Figure 22. Context view of the western block of Sue Bierman Park. View southeast.



Figure 23. Detail view of the pump house at the southwest corner of Washington and Drumm streets. View southwest.



Figure 24. Detail view of the pebble-aggregate concrete wall and gate behind the pump house. View southwest.



Figure 25. Detail view of the pump house with enclosed rear driveway. View north.

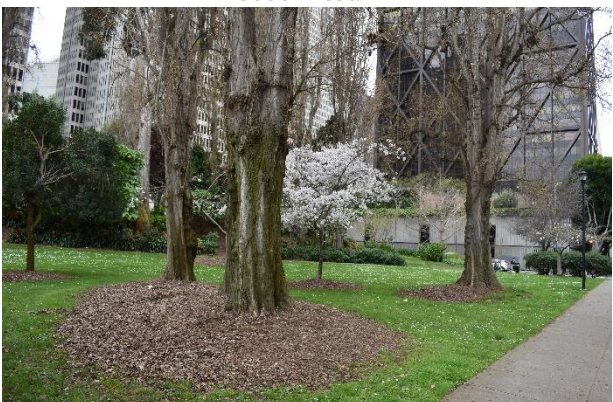


Figure 26. View of the northwestern quadrant of the west park block, with a cluster of several poplar trees. View west.



Figure 27. Context view of the northwestern corner entrance to Sue Bierman Park. View southeast.





Figure 28. Detail view of the board-formed concrete curb at the northwestern edge of the park. View southeast.



Figure 29. Board-formed concrete retaining wall and plantings along the western side of the park. View east.



Figure 30. Context view of the southwest corner of the property. View northeast.



Figure 31. Detail view of the board-formed concrete retaining wall at the southwestern corner of the park. View northeast.



Figure 32. View of the southwestern entrance to the park. View east.

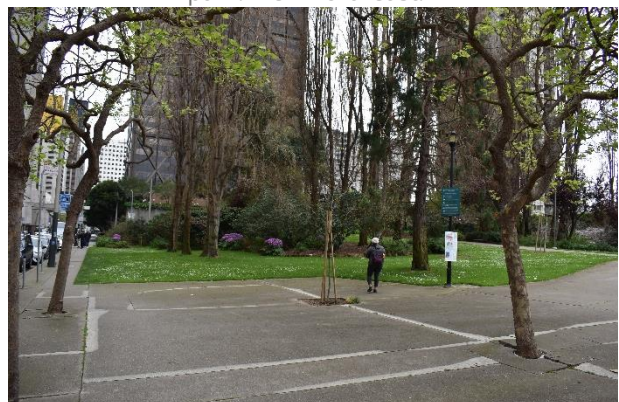


Figure 33. Context view of the concrete paved area at the southeastern corner entrance of the west park block, with original tree pits. View west.



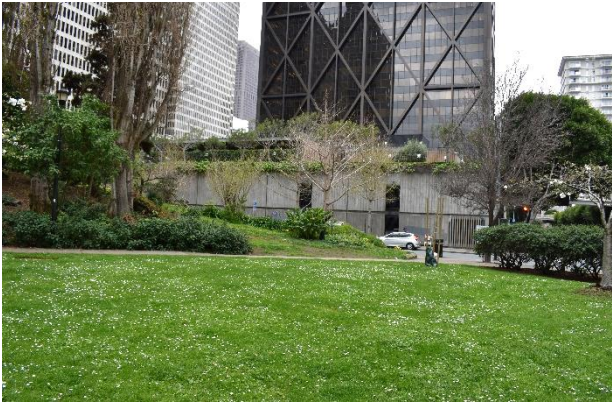


Figure 34. West side of the park block, with a view west to One Maritime Plaza (visible in the background).



Figure 35. Central concrete pathway. View west.

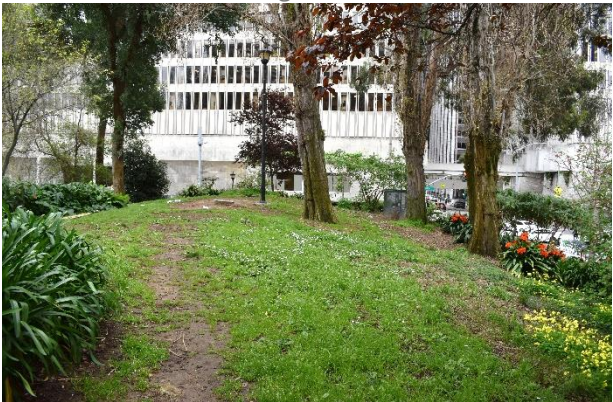


Figure 36. Desire paths at the top of the knoll at the west end of the west park block. View north.



Figure 37. Central concrete pathway. View northwest.

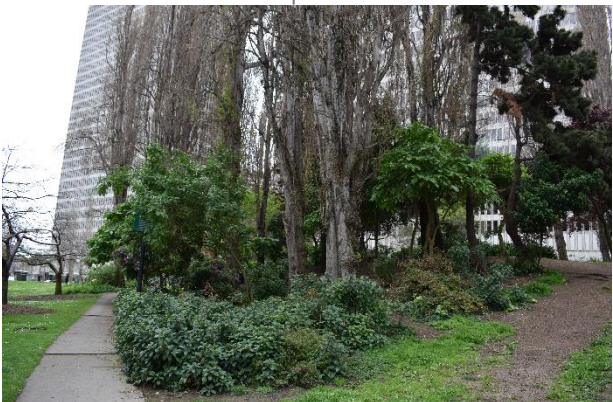


Figure 38. Concrete pathway (left) and desire path (right). View southeast.



Figure 39. Detail view of wood timber curb and planting bed. View west.



## ADJACENT PROPERTY/NEIGHBORHOOD PHOTOGRAPHS

All photographs were taken by Page & Turnbull on March 27, 2025, unless otherwise stated.<sup>5</sup>



Figure 40. Pier 1 The Embarcadero (built 1900). View north.



Figure 41. 370 Drumm Street tennis courts (built ca.1977). View northwest.



Figure 42. 460 Davis Court (built 1966), designed by Wurster, Bernardi & Emmons (WBE) as part of the Golden Gateway Redevelopment Project. View west.



Figure 43. 405 Davis Street (built 1965), designed by WBE as part of the Golden Gateway Redevelopment Project. View west.

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<sup>5</sup> Building construction dates are sourced from the San Francisco Planning Department, Property Information Map.



Figure 44. One Maritime Plaza (built 1967). Board-formed concrete podium was designed by WBE and Maritime Park (on top of the podium) was designed by Sasaki, Walker & Associates as part of the Golden Gateway Redevelopment Project. View southwest.



Figure 45. One Maritime Plaza (built 1967), designed by Skidmore, Owings & Merrill as part of the Golden Gateway Redevelopment Project. View west.



Figure 46. Two to Four Embarcadero Center, visible at left of center (built 1974-1976), designed by John Portman & Associates as part of the Golden Gateway Redevelopment Project. View southwest.



Figure 47. View of Vaillancourt Fountain (foreground, built 1971, Armand Vaillancourt) and Embarcadero Plaza North (built 1972, remodeled 2001), originally designed by Lawrence Halprin & Associates as part of the Golden Gateway Redevelopment Project. View south.





Figure 48. Four Embarcadero Center (built 1982), designed by John Portman & Associates. View south.

### East Side of The Embarcadero: Ferry Building & Harry Bridges Plaza



Figure 49. The Ferry Building (built 1896), designed by A. Page Brown. View southeast.



Figure 50. Harry Bridges Plaza (built 2001). View west, Four Embarcadero Center in the background.

Historical photographs and maps are included in the **Appendix** of this report.



## Site & Alteration Chronology

The following is a summary chronology of the construction of Sue Bierman Park and its subsequent alterations:

- **1974-1975** – Justin Herman Park Phase II (now, Sue Bierman Park) was designed by Lawrence Halprin & Associates, two years after the firm completed Embarcadero Plaza (**Appendix E**). The park, completed in 1975, spanned the two blocks bounded by The Embarcadero and Davis, Clay, and Washington streets under the on and off ramps of the Embarcadero Freeway.<sup>6</sup> Block books indicate that portions of the two blocks were variously owned and maintained by the City of San Francisco and State of California (**Appendix A**). The Department of Public Works (DPW) granted revocable permission to RPD to occupy a portion of Davis, Drumm, Clay and Washington streets in conjunction with Justin Herman Park Phase II (Resolution No. 543-74).
  - **Original elements of Halprin's 1974 design**
    - Concrete bridge and stairs connecting to Maritime Plaza, over what is now Drumm Street, with a series of three descending platforms, each with square footprints and diagonal running bond brick paving with double soldier course perimeters
    - Free-standing metal pergola (painted red) with concrete cylindrical (Sonotube) columns and globe light fixtures above a patio paved with diagonal running bond brick and double soldier course perimeters
    - Benches with wood horizontal slats and curved backrests
    - Rectilinear walkways paved with asphalt and Belgian block borders
    - Curvilinear paths at the northern side of the west park block and the north and east sides of the east park block
    - Free-standing metal light poles with clear globe fixtures
    - Ten evenly spaced rectangular tree pits with cast concrete covers at the southeast corner of the east park block
    - Grass lawn under the on and off ramps at the east park block
    - Plantings including *Eucalyptus rudis*, *Eucalyptus robusta*, *Populus nigra 'Italica'*, *Pinus muricata*, *Pinus sylvestris*, *Liriodendron tulip*, *Hedera helix*, *Prunus yedonensis* "Akebono," *Platanus acerifolia*, and *pinus thunbergii*.
- **c.1980s** – An outdoor sculpture owned by SFMOMA—*Hiro II* (1967) by Peter Voulkos—which had been temporarily located under the Embarcadero Freeway ramp in the park was

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<sup>6</sup> Alexander Fried, "A new charm for the city," *San Francisco Examiner*, November 16, 1975.

relocated to outside of the San Francisco War Memorial Opera House (301 Van Ness Avenue).

- **1989** – The Loma Prieta Earthquake severely damaged the double-decker Embarcadero Freeway.
- **1991** – The double-decker Embarcadero Freeway was demolished, including the on and off ramps within Sue Bierman Park.
- **2001** – Following the demolition of the freeway, responsibility of management of the site was transferred to the Recreation and Park Department.<sup>7</sup>
- **2001** – Davis Street between Washington and Clay Streets was reopened to vehicles, removing the pedestrian pathway and converting the westernmost portion of the park back to a road with sidewalks.<sup>8</sup> From review of aerial photographs, it appears that the stepped board-formed concrete retaining wall was added at this time.<sup>9</sup>
- **c.2003** – The sculpture *Yin & Yang* (1992, SFAC Accession No. 2003.5) by Robert Arenson was installed in a circular planter where Sue Bierman Park meets Embarcadero Plaza. The artwork was later removed in 2013 and subsequently relocated to the San Francisco International Airport, as it was originally commissioned for the airport.<sup>10</sup>
- **2010-2011** – The east park block was fully redesigned by ROMA Design Group and renamed Sue Bierman Park to honor “a former supervisor who started as a community activist fighting freeways.”<sup>11</sup> Renovations included the removal of all original Halprin-designed features on the west park block, including paths and the metal and concrete pergola. The block was redesigned with an open lawn and curvilinear paths. The Halprin-designed concrete bridge, stairs, and tiered platforms that connected the Maritime Plaza podium level to Sue Bierman Park—known by skateboarders as “Hubba Hideout”—were also demolished during this time.<sup>12</sup> **(Appendix D)**
- **2011** – A piece of public artwork—*Movement: The First 100 Years* (c.1982, SFAC Accession No. 1982.3) by Man Lin Choi—was relocated to the west block Sue Bierman Park, but was later removed from public display c.2020.<sup>13</sup>

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<sup>7</sup> John King, “S.F.’s Redo of Sue Bierman Park Wastes Opportunity,” *SFGate*, October 15, 2011.

<sup>8</sup> “SAN FRANCISCO - Davis Street Walkway Reopens to Vehicles,” *San Francisco Chronicle*, July 27, 2001, A20.

<sup>9</sup> The architect or designer of this feature could not be confirmed through the course of research

<sup>10</sup> “Yin and Yang,” San Francisco Arts Commission, accessed April 15, 2025, <https://kiosk.sfartscommission.org/objects-1/info/3218>; and Geri Koeppl, “Yin Yang’ Sculpture Not Returning To Embarcadero After All,” *Hoodline*, February 23, 2016, accessed April 15, 2025, <https://hoodline.com/2016/02/yin-yang-sculpture-not-returning-to-embarcadero-after-all/>.

<sup>11</sup> John King, “S.F.’s Redo of Sue Bierman Park Wastes Opportunity.”

<sup>12</sup> Adam Salo, “R.I.P. Hubba Hideout,” *ESPN*, January 22, 2011, accessed March 18, 2025, <https://www.espn.com/action/skateboarding/news/story?id=6054554>.

<sup>13</sup> “Movement – The First 100 Years,” *Public Art and Architecture from Around the World*, accessed April 15, 2025, <https://artandarchitecture-sf.com/tag/man-lin-choi>; and “Movement: The First 100 Years,” San Francisco Arts Commission, accessed April 15, 2025, <https://kiosk.sfartscommission.org/objects-1/info/2607>.

- **2013** – A playground designed by ROMA Design Group was constructed at the northeast corner of Sue Bierman Park, replacing a paved semicircular area that formerly had 16 small, detached blocks of basalt rock used for sitting (installed by ROMA Design Group in 2011).<sup>14</sup>
- **2021** – The park play structure was damaged by fire in an act of vandalism.<sup>15</sup>
- **2023** – The play structure was repaired and safety surface turf replaced.

Additional historic context on the Golden Gateway redevelopment project can be found in:

- January Tavel, ICF, Department of Parks and Recreation (DPR) 523 forms, Justin Herman Plaza (March 30, 2016)<sup>16</sup>
- *Embarcadero Center Historic Resource Evaluation Part 1* (Page & Turnbull, prepared for San Francisco Planning Department, August 10, 2022).

## OWNERSHIP HISTORY

The properties that now comprise Sue Bierman Park were originally developed by the 1880s as blocks of privately owned commercial buildings, and by 1905 included a mix of commercial buildings associated with the produce market and adjacent Ferry Terminal. The dense mix of buildings and uses persisted through the 1950s.<sup>17</sup> By 1967, all of the properties on the two blocks had been acquired by the San Francisco Redevelopment Agency, City of San Francisco, or State of California through eminent domain and were subsequently cleared for the construction of the Embarcadero Freeway on and off-ramps.<sup>18</sup> The properties owned by SFRA were transferred to the City of San Francisco by 1976.<sup>19</sup> Sue Bierman Park has been managed by RPD since 2001, and a fenced-off area at the southwest corner of Drumm and Washington streets is managed by the San Francisco Public Utilities Commission (PUC).<sup>20</sup> Select block book maps are included in **Appendix A**.

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<sup>14</sup> John King. "S.F.'s Redo of Sue Bierman Park Wastes Opportunity"; ROMA Collaborative. "Sue Bierman Park, San Francisco, CA," n.d. [https://www.romacollaborative.com/sue-bierman-park\\_sf](https://www.romacollaborative.com/sue-bierman-park_sf).

<sup>15</sup> "Sue Bierman Playground Vandalism Repairs," San Francisco Recreation & Parks, accessed April 15, 2025, <https://sfrecpark.org/1590/Sue-Bierman-Playground-Vandalism-Repairs>.

<sup>16</sup> Included in "Appendix 6: Cultural Resources Supporting Information," Better Market Street Project Draft Environmental Impact Report (February 27, 2019), Planning Department Case No. 2014.0012E, State Clearinghouse No. 2015012027.

<sup>17</sup> Block books available through the San Francisco Property Information Map (PIM) and Sanborn Map Company fire insurance maps available through the San Francisco Public Library.

<sup>18</sup> 1963 and 1967 Block Book accessed via <https://bayareahistory.com/>.

<sup>19</sup> 1976 Block Book accessed via <https://bayareahistory.com/>.

<sup>20</sup> John King, "S.F.'s Redo of Sue Bierman Park Wastes Opportunity."

TABLE 1. CURRENT OWNERSHIP & MANAGEMENT OF SUBJECT PROPERTIES

Block/Lot	Owner	Managed By
0202/006	State	Recreation & Parks (RPD)
0202/018	City	RPD
0202/019 (formerly 0202/014)	City	Port
0202/020 (formerly 0202/014)	City	RPD
0203/014	State	RPD
0203/013	City	Public Utilities Commission/Clean Water Program

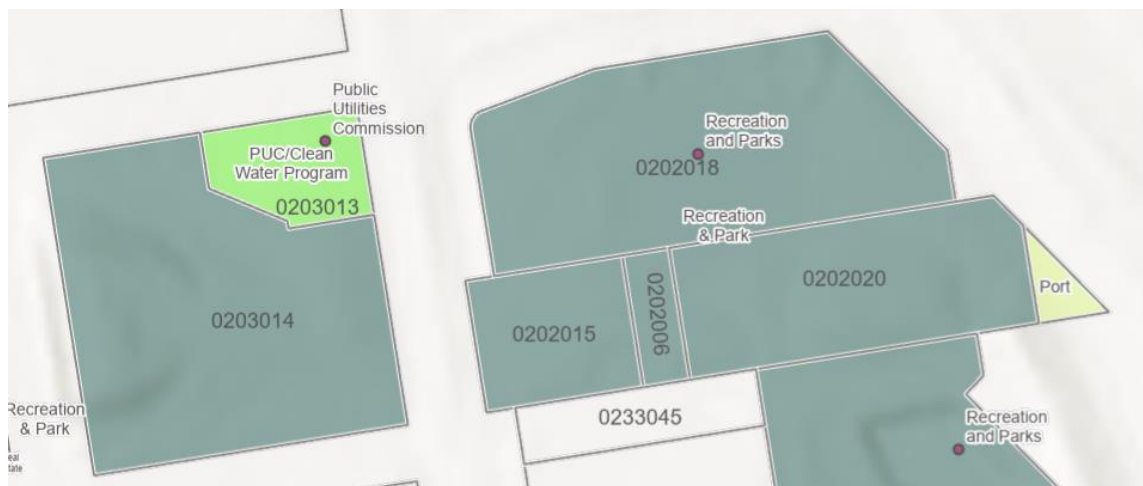


Figure 51. Departments responsible for management of Sue Bierman Park. Source: PIM.



## II. EVALUATION

### National Register of Historic Places

The National Register of Historic Places (National Register) is the nation's most comprehensive inventory of historic resources. The National Register is administered by the National Park Service and includes buildings, structures, sites, objects, and districts that possess historic, architectural, engineering, archaeological, or cultural significance at the national, state, or local level. Typically, resources over fifty years of age are eligible for listing in the National Register if they meet any one of the four criteria of significance and if they sufficiently retain historic integrity. However, resources under fifty years of age can be determined eligible if it can be demonstrated that they are of "exceptional importance," or if they are contributors to a potential historic district. National Register criteria are defined in depth in *National Register Bulletin Number 15: How to Apply the National Register Criteria for Evaluation*. There are four basic criteria under which a structure, site, building, district, or object can be considered eligible for listing in the National Register. These criteria are:

- **Criterion A (Event):** Properties associated with events that have made a significant contribution to the broad patterns of our history.
- **Criterion B (Person):** Properties associated with the lives of persons significant in our past.
- **Criterion C (Design/Construction):** Properties that embody the distinctive characteristics of a type, period, or method of construction, or that represent the work of a master, or that possess high artistic values, or that represent a significant distinguishable entity whose components lack individual distinction.
- **Criterion D (Information Potential):** Properties that have yielded, or may be likely to yield, information important in prehistory or history.<sup>21</sup>

A resource can be considered significant on a national, state, or local level to American history, architecture, archaeology, engineering, and culture.

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<sup>21</sup> National Park Service, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington, D.C.: U.S. Department of the Interior, National Park Service, 1995), 2.

## California Register of Historical Resources

The California Register of Historical Resources (California Register) is an inventory of significant architectural, archaeological, and historical resources in the State of California. Resources can be listed in the California Register through a number of methods. State Historical Landmarks and National Register-listed properties are automatically listed in the California Register. Properties can also be nominated to the California Register by local governments, private organizations, or citizens. The evaluative criteria used by the California Register for determining eligibility are closely based on those developed by the National Park Service for the National Register of Historic Places. In order for a structure, site, building, district, or object to be eligible for listing in the California Register, it must be found significant under one or more of the following criteria.

- **Criterion 1 (Events):** Resources that are associated with events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States.
- **Criterion 2 (Persons):** Resources that are associated with the lives of persons important to local, California, or national history.
- **Criterion 3 (Design):** Resources that embody the distinctive characteristics of a type, period, region, or method of construction, or represent the work of a master, or possess high artistic values.
- **Criterion 4 (Information Potential):** Resources or sites that have yielded or have the potential to yield information important to the prehistory or history of the local area, California, or the nation.<sup>22</sup>

The following section examines the eligibility of Sue Bierman Park for listing in the National Register and California Register.

### CRITERION A/1 (EVENTS)

Sue Bierman Park does not appear to be individually eligible for listing in the National Register and/or California Register under Criterion A/1 (Events) for its association with any events that have made a significant contribution to the broad patterns of local or regional history, or the cultural heritage of California or the United States. The park, originally named "Justin Herman Park Phase II,"

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<sup>22</sup> California Office of Historic Preservation, *Technical Assistance Bulletin No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001), 11.

was constructed as part of the Golden Gateway redevelopment project (officially, Embarcadero-Lower Market Project Area E-1), but it is not individually or uniquely representative of this redevelopment. As a public space, the park was more of an ancillary space for many years as it was located underneath the on and off ramps of the Embarcadero Freeway. Research did not uncover any events at Sue Bierman Park that would qualify as historically significant. For these reasons, the park does not appear to be individually eligible for listing in the National Register and/or California Register under Criterion A/1 (Events).

#### CRITERION B/2 (PERSONS)

Sue Bierman Park does not appear to be individually eligible for listing in the National Register and/or California Register under Criterion B/2 (Persons) as a property associated with the life of a person important to local, state, or national history. The park was renamed in honor of Sue Bierman, a civic leader in San Francisco and neighborhood advocate. While Bierman made important contributions to San Francisco's local history, the naming of the park is honorific and does not represent any direct association with the life or individual contributions of Sue Bierman. The park is a public space that has been used by many individuals over several decades, however, research did not uncover any individual person with a direct association to the park or its development. Therefore, Sue Bierman Park does not appear to be individually eligible for listing in the National Register and/or California Register under Criterion B/2 (Persons).

#### CRITERION C/3 (DESIGN)

Sue Bierman Park does not appear to be individually eligible for listing in the National Register and/or California Register under Criterion C/3 (Architecture) as a property that embodies the distinctive characteristics of a type, period, or method of construction. While the park was originally designed by Lawrence Halprin (1916-2009), one of the most prolific and influential American landscape architects of the postwar years, the design of Justin Herman Park Phase II was not a particularly significant work by Halprin and is not reflective of the body of work for which he is renowned. The park was not designed with the same Modernist formal or material vocabulary as Market Street and Embarcadero Plaza and does not rise to the same level of design distinction as those projects. Furthermore, very few elements of Halprin's original design remain extant, and the existing landscape, rather, reflects the 2011 remodel of the park by ROMA Design Group. Thus, Sue Bierman Park does not appear individually eligible for listing in the National Register and/or California Register under Criterion C/3 (Architecture).

#### Criterion G Consideration & Properties Less than 50 Years Old

The redesign of the park by ROMA Design Group in 2011 occurred within the last 50 years and employed a fairly light design touch, utilizing standard or off-the-shelf small-scale features (lamps,



benches, trash receptacles, bike racks, etc.). ROMA Design Group has not been established as a landscape architecture firm of merit and the remodel of Sue Bierman Park does not embody the distinctive characteristics of a particular style or era of landscape architecture. Thus, it cannot be said to have achieved significance in its own right. The 2011 remodel of Sue Bierman Park does not possess “exceptional significance” for National Register eligibility under Criterion Consideration G, nor does it possess historic significance for the California Register under the special criteria considerations for properties less than 50 years old.<sup>23</sup>

#### CRITERION D/4 (INFORMATION POTENTIAL)

The “potential to yield information important to the prehistory or history of California” typically relates to archeological resources, rather than built resources. When Criterion D/4 (Information Potential) does relate to built resources, it is relevant for cases when the building itself is the principal source of important construction-related information. Sue Bierman Park does not appear to be eligible under Criterion D/4 as a principal source of important construction-related information. Page & Turnbull’s evaluation of this property was limited to age-eligible resources above ground and did not involve survey or evaluation of the subject property for the purposes of archaeological information.

### Integrity

In order to qualify for listing in any local, state, or national historic register, a property or landscape must possess significance under at least one evaluative criterion as described above and retain integrity. Integrity is defined by the California Office of Historic Preservation as “the authenticity of an historical resource’s physical identity evidenced by the survival of characteristics that existed during the resource’s period of significance,” or more simply defined by the National Park Service as “the ability of a property to convey its significance.”<sup>24</sup>

In order to evaluate whether the subject property retains sufficient integrity to convey its historic significance, Page & Turnbull used established integrity standards outlined by the *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation*. Seven variables, or aspects, that define integrity are used to evaluate a resource’s integrity—location, setting, design, materials, workmanship, feeling, and association. A property must possess most, or all, of these aspects in

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<sup>23</sup> California Office of Historic Preservation, *Technical Assistance Series No. 6: California Register and National Register: A Comparison* (Sacramento: California Office of State Publishing, 2011), 3.

<sup>24</sup> California Office of Historic Preservation, *Technical Assistance Series No. 7: How to Nominate a Resource to the California Register of Historical Resources* (Sacramento: California Office of State Publishing, September 4, 2001), 11; and National Park Service, *National Register Bulletin 15: How to Apply the National Register Criteria for Evaluation* (Washington, D.C.: U.S. Department of the Interior, National Park Service, 1995), 44.

order to retain overall integrity. If a property does not retain integrity, it can no longer convey its significance and is therefore not eligible for listing in local, state, or national registers.

The seven aspects that define integrity are defined as follows:

Location is the place where the historic property was constructed or the place where the historic event occurred;

Setting addresses the physical environment of the historic property inclusive of the landscape and spatial relationships of the building(s);

Design is the combination of elements that create the form, plan, space, structure, and style of the property;

Materials refer to the physical elements that were combined or deposited during a particular period of time and in a particular pattern or configuration to form the historic property;

Workmanship is the physical evidence of the crafts of a particular culture or people during any given period in history or prehistory;

Feeling is the property's expression of the aesthetic or historic sense of a particular period of time; and

Association is the direct link between an important historic event or person and the historic property.

## LOCATION

Sue Bierman Park does retain integrity of location, as the park has not been moved from its original location.

## SETTING

Sue Bierman Park does not retain integrity of setting. The original 1974 design of the park by Lawrence Halprin was built around the on and off ramps of the Embarcadero Freeway, which were demolished along with the entire freeway following the 1989 Loma Prieta earthquake. Furthermore, the park was originally connected to Maritime Plaza by a concrete bridge at the western side, which allowed for access to a network of interconnected green spaces throughout the Golden Gateway Redevelopment Area. The bridge was demolished in 2010, thus further diminishing the integrity of



setting. The western portion of the park that formerly functioned as a pedestrian path in the location of present-day Davis Street was also converted back to a roadway in 2001. While the surrounding high-rise buildings to the north, west, and south of the park remain extant, the overall integrity of setting does is no longer intact.

## DESIGN

Sue Bierman Park does not retain the integrity of its original design. Very few elements of the 1974 landscape design by Lawrence Halprin & Associates remain. Major designed features that have been since removed include: a free-standing metal pergola, concrete staircase connecting to Maritime Plaza with three descending platforms, wood benches, asphalt pathways with Belgian block borders, and all of the original walkways in the east park block. The only remaining elements of the 1974 Halprin design are located on the western park block, including: six of the original ten concrete tree pits at the southeastern corner, several original pathway configurations, and groves of mature poplar and eucalyptus trees<sup>25</sup>. Around 2001, the western side of the park was redesigned with new board-formed concrete retaining walls following the conversion of Davis Street from a pedestrian walkway to a roadway. In 2010, the Halprin-designed bridge and staircase with tiered platforms from Maritime Plaza was also removed, and the eastern park block was fully redesigned by ROMA Design Group, removing all elements of the 1974 Halprin design on that block. As such, the park no longer reflects the original design by Lawrence Halprin & Associates.

## MATERIALS

Sue Bierman Park does not retain integrity of materials. Very few of the original materials dating to the 1974 Halprin design appear to be extant in the park. Original materials that have been removed include the original concrete walls, columns, and staircases, metal pergola, glass globe light fixtures, brick paving at the stair platforms and metal pergola, asphalt and cobblestone paths, wood benches, and Belgian block borders. The only visible remaining elements dating to Halprin's design are the concrete tree pits at the southeast corner of the western park block and the mature groves of poplar and eucalyptus trees clustered around the western knoll. The remaining material elements do not sufficiently convey the original design intention by Halprin in 1974, and thus, Sue Bierman Park does not retain integrity of materials.

## WORKMANSHIP

Sue Bierman Park does not retain integrity of workmanship. As mentioned, few of Halprin's original 1974 designed features are extant in the park, and most examples of workmanship have been

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<sup>25</sup> The original 1974 drawings by Halprin show 10 tree pits, however this area appears to have been altered at an unknown date, and only six tree pits remain extant.

removed or demolished. Examples of workmanship dating to the 1974 Halprin design that have been removed include brick paving with diagonal running bond surrounded by a perimeter with double soldier courses, pathways with Belgian block borders, and a metal pergola with concrete columns. As the majority of original examples of late twentieth century workmanship are no longer extant, Sue Bierman Park does not retain integrity of workmanship.

### FEELING

Sue Bierman Park does not retain integrity of feeling. As mentioned, the original 1974 design of the park by Lawrence Halprin was built around the Embarcadero Freeway, which has since been demolished following the 1989 Loma Prieta earthquake. The park was also originally connected to One Maritime Plaza (built 1967) by a concrete bridge at the western side, which was demolished in 2001. As these elements are no longer present and the park has been extensively redesigned, it no longer expresses its original aesthetic as a 1970s Modernist park. For these reasons, Sue Bierman Park does not retain integrity of feeling.

### ASSOCIATION

Sue Bierman Park does not retain integrity of association. The subject site was not found to be significant for its association with any criteria.

Overall, Sue Bierman Park does not retain integrity to the original 1974 landscape design by Lawrence Halprin & Associates.

## Conclusion

Sue Bierman Park is not currently listed on a local, state, or federal register of historical resources and has not been previously identified as eligible. This HRR finds that Sue Bierman Park is not individually eligible for listing in the National Register or California Register under any criteria. Furthermore, Sue Bierman Park does not retain integrity to the original 1974 landscape design by Lawrence Halprin.



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"Sue Bierman Playground Vandalism Repairs," San Francisco Recreation & Parks, accessed April 15, 2025, <https://sfrecpark.org/1590/Sue-Bierman-Playground-Vandalism-Repairs>. "Yin and Yang," San Francisco Arts Commission. Accessed April 15, 2025, <https://kiosk.sfartscommission.org/objects-1/info/3218>.



## IV. APPENDICES

### Appendix A – Selected Historical Maps

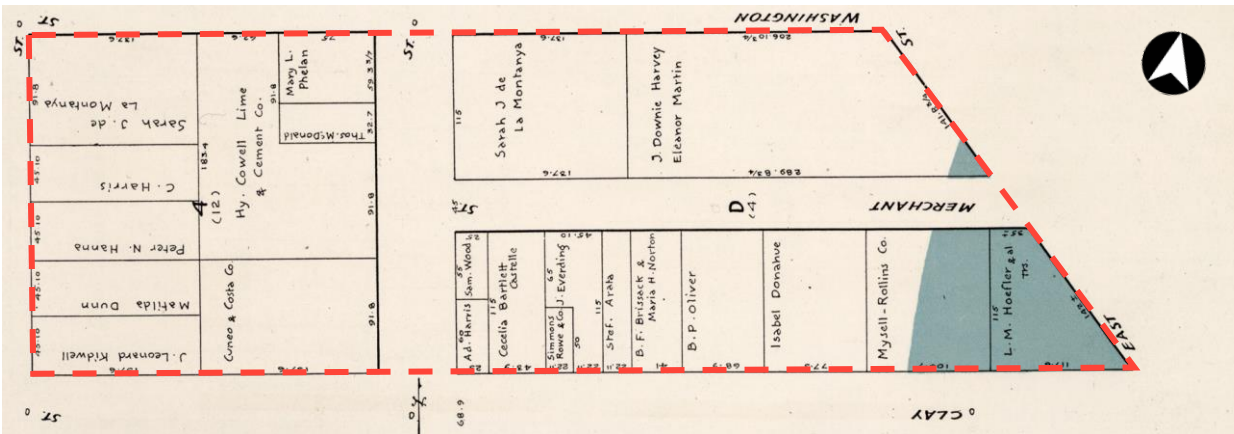


Figure 52. San Francisco 50 Vara Survey map, 1906. Future boundary of Sue Bierman Park indicated by red dashed outline. Source: David Rumsey Map Collection. Edited by Page & Turnbull.



Figure 53. Aerial photograph, 1938. Future boundary of Embarcadero Plaza indicated by red dashed outline. Source: David Rumsey Map Collection. Edited by Page & Turnbull.

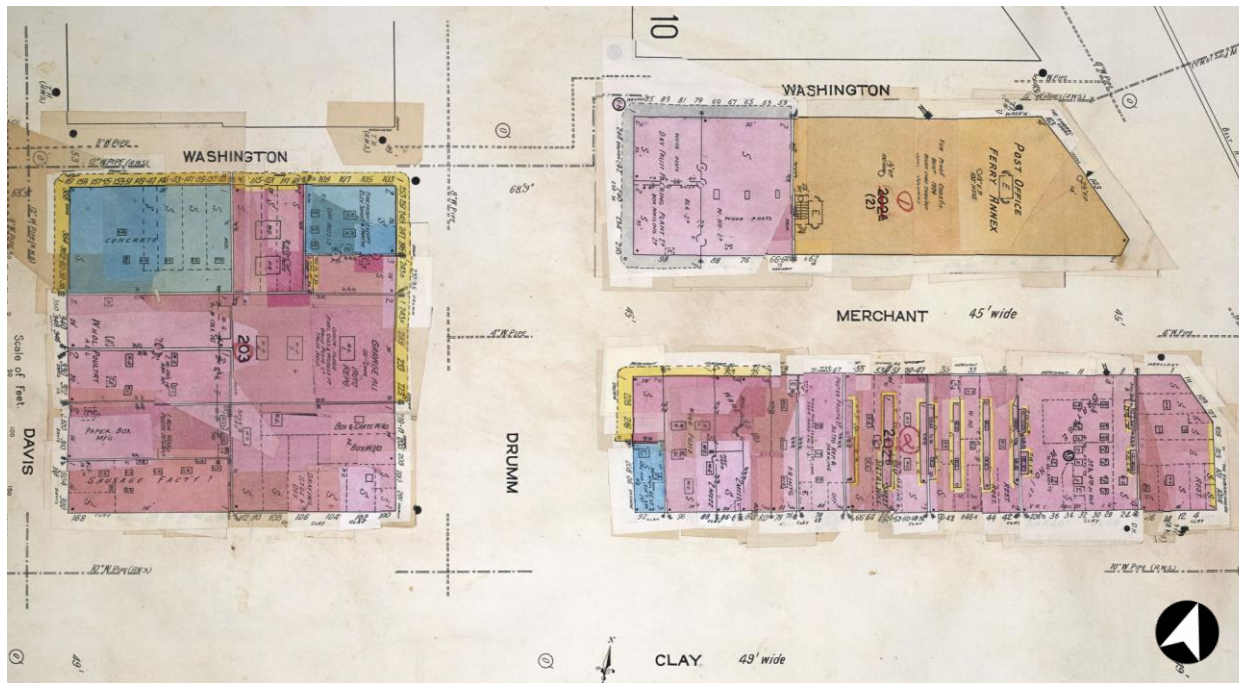


Figure 54. Sanborn Fire Insurance Map Company of San Francisco, Volume 1, Pages 11, 1950, showing the two blocks that would later become Sue Bierman Park. Source: San Francisco Public Library. Edited by Page & Turnbull.



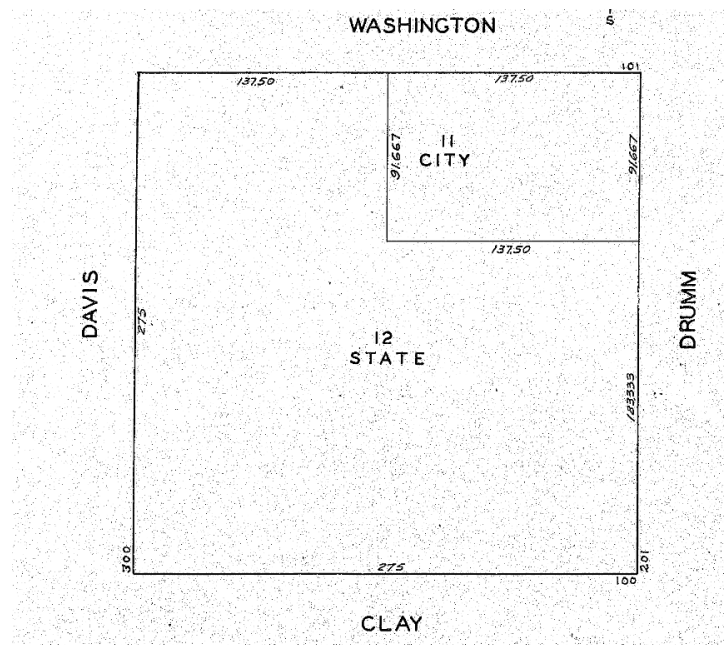


Figure 55. San Francisco Block Book, 1963, for Block 0203, the west block of what is now Sue Bierman Park.  
Source: San Francisco Assessor's Office, <https://static.bayareahistory.com/blockmaps/RP-Block%20Map%200203%20-%201963.pdf>.

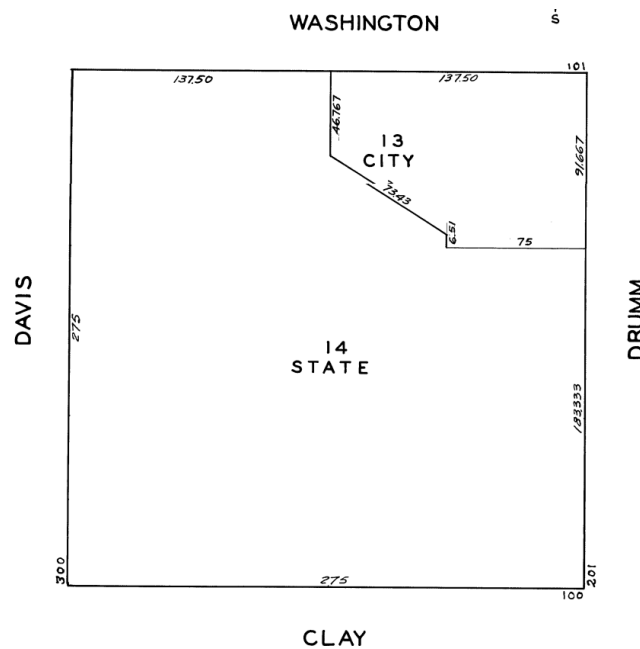


Figure 56. San Francisco Block Book, 1995, for Block 0203, the west block of what is now Sue Bierman Park.  
Source: San Francisco Property Information Map (PIM), edited by Page & Turnbull.

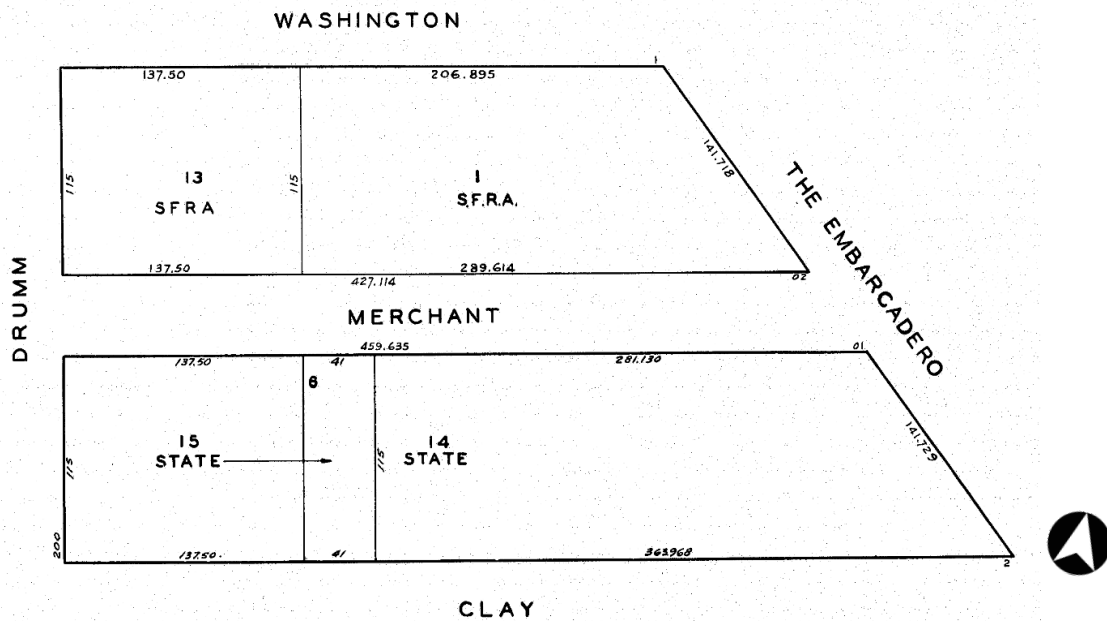


Figure 57. San Francisco Block Book, 1967, for Block 0202, the east block of what is now Sue Bierman Park.  
Source: San Francisco Assessor's Office, <https://static.bayareahistory.com/blockmaps/RP-Block%20Map%200202%20-%201967.pdf>. Edited by Page & Turnbull.

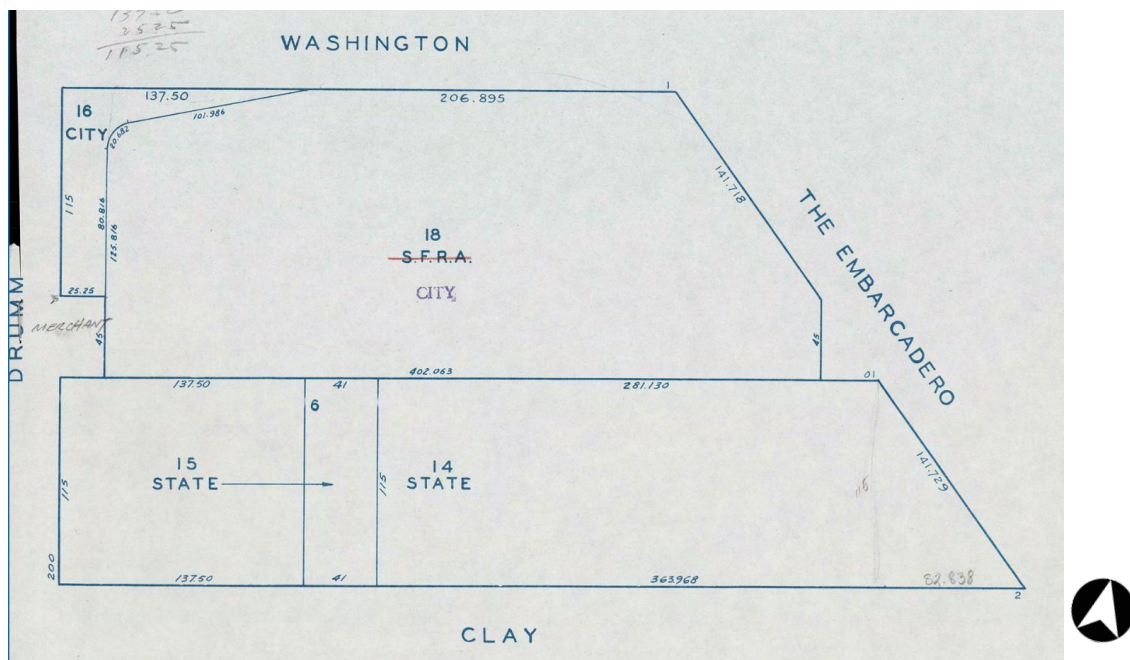


Figure 58. San Francisco Block Book, 1976, for Block 0202, the east block of what is now Sue Bierman Park.  
Source: San Francisco Assessor's Office, <https://static.bayareahistory.com/blockmaps/RP-Block%20Map%200202%20-%201976.pdf>. Edited by Page & Turnbull.

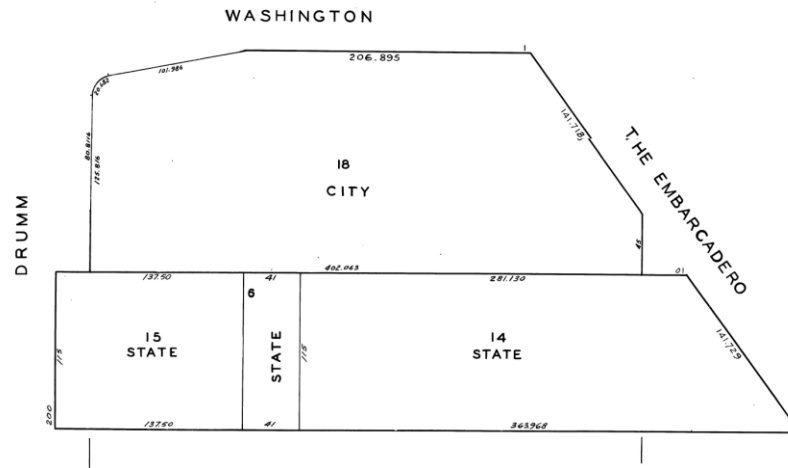


Figure 59. San Francisco Block Book, 1995, for Block 0202, the east block of what is now Sue Bierman Park.  
Source: San Francisco Property Information Map (PIM), edited by Page & Turnbull.



Figure 60. Golden Gateway Plan Map, San Francisco Redevelopment Agency, 1986.  
Source: "San Francisco Redevelopment Program: 1987 Fact Book," on file at Office of Community Investment & Infrastructure (OCII).



## Appendix B – Selected Historical Photographs



Figure 61. Former location of the Embarcadero Freeway on and off ramps at what would later become Sue Bierman Park, 1965. Unknown photographer. Source: SFGATE.com.

street address <u>space frame park</u>		block number <u>202</u>	lot number <u>18</u>	summary <u>3</u>
building type/use/number of floors <u>park</u>		landmark number		

<b>RELATIONSHIP WITH SURROUNDING BUILDINGS</b> Relationship of setting to building -2 -1 0 1 2 <u>3</u> 4 5 Importance as contribution to a cluster/streetscape -2 -1 0 1 <u>2</u> 3 4 5		<input type="checkbox"/> PROPOSED FOR FURTHER INVESTIGATION <input type="checkbox"/> CORNICE, PARAPET, APPENDAGE Importance of cornice to building design -2 -1 0 1 2 3 4 5 Cornice contribution to streetscape -2 -1 0 1 2 3 4 5	
<b>ARCHITECTURAL DESIGN VALUATION</b> Facade proportions -2 -1 0 1 <u>2</u> 3 4 5 Richness/Excellence of detailing/decoration -2 -1 0 1 2 3 <u>4</u> 5 Unique visual feature of interest 0 1 2 <u>3</u> 4 5 Example of a rare or unusual style or design 0 1 2 <u>3</u> 4 5 Overall architectural quality -2 -1 0 1 <u>2</u> 3 4 5		<b>FACADE CONDITION</b> Physical condition -2 -1 0 1 2 3 4 <u>5</u> Paint/Material color -2 -1 0 1 2 3 4 <u>5</u> <input type="checkbox"/> REMODELING Appropriateness of improvements -2 -1 0 1 2 3 4 5	

Engle 6-30-76  
date




photo 279-12

**Field Notes**

*Handwritten notes in cursive script, mostly illegible due to fading and handwriting style. Some legible words include 'before', 'substance', 'beneath the', 'primary', 'the', 'structure', 'not', 'attempt to', 'face', 'the', 'site', 'this', 'structure has', 'marginal', 'value for', 'the site'.*

**Review Notes**

Junior League Listing  
☐ text ☐ index ☐ file  
☐ Northern California Guide  
☐ Other Listing \_\_\_\_\_

Figure 62. 1976 Department of City Planning survey form. Source: San Francisco Property Information Map.





Figure 63. *Hiro II* sculpture by Peter Voulkos, 1979, later relocated to outside the War Memorial Building.  
Source: San Francisco Museum of Modern Art.



Figure 64. *Hiro II* sculpture by Peter Voulkos, 1979. Source: San Francisco Museum of Modern Art.





Figure 65. 1982 aerial photograph of the Embarcadero Freeway with approximate location of Sue Bierman Park outlined in red dashed line. Source: *San Francisco Chronicle* Archives. Edited by Page & Turnbull.

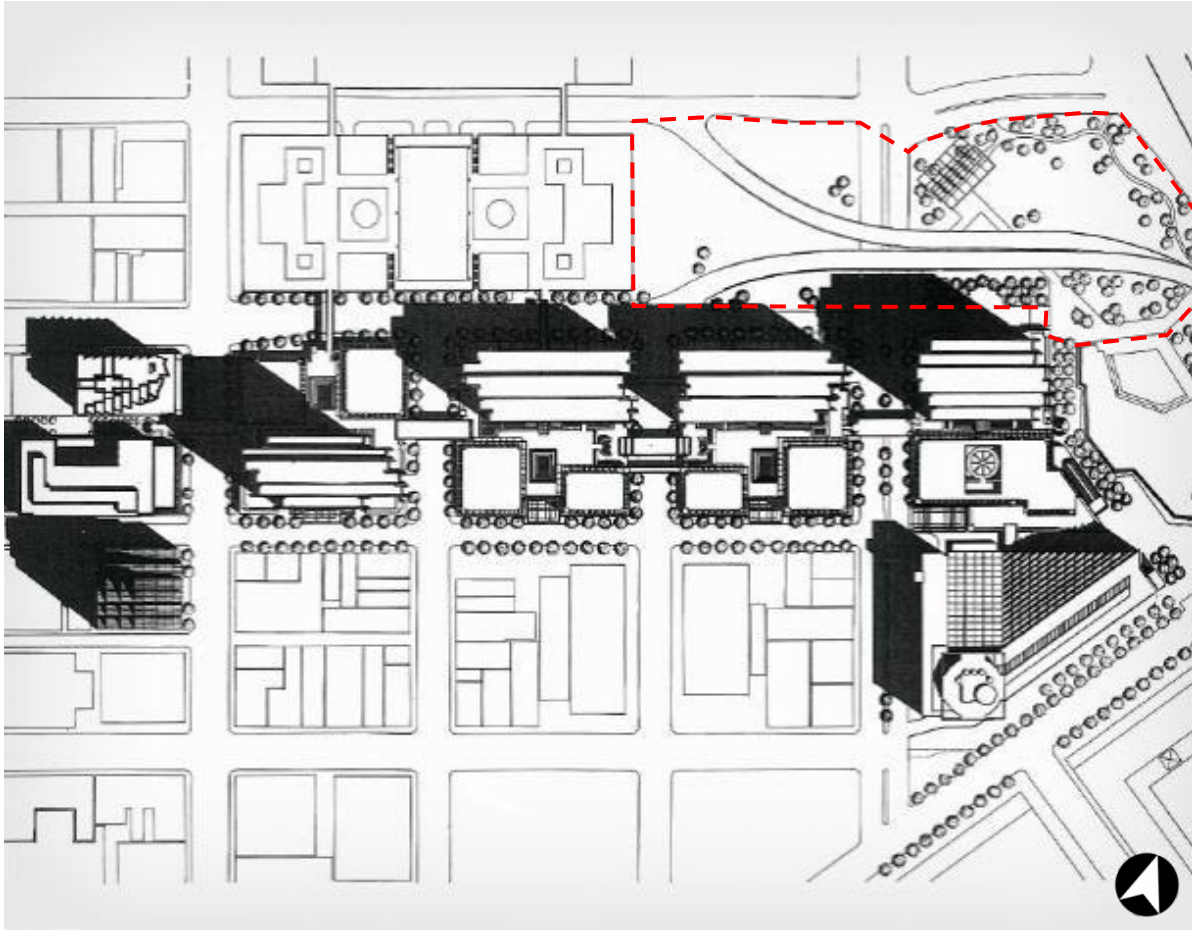


Figure 66. 1989 Embarcadero Center master plan, showing the Embarcadero West Expansion. The Halprin-designed pergola and path network are visible at the east block of Sue Bierman Park. The approximate boundary of Sue Bierman Park outlined in red dashed line. Source: John Portman & Associates.





Figure 67. Concrete and metal pergola designed by Lawrence Halprin & Associates, undated photo. Source: San Francisco Public Library.



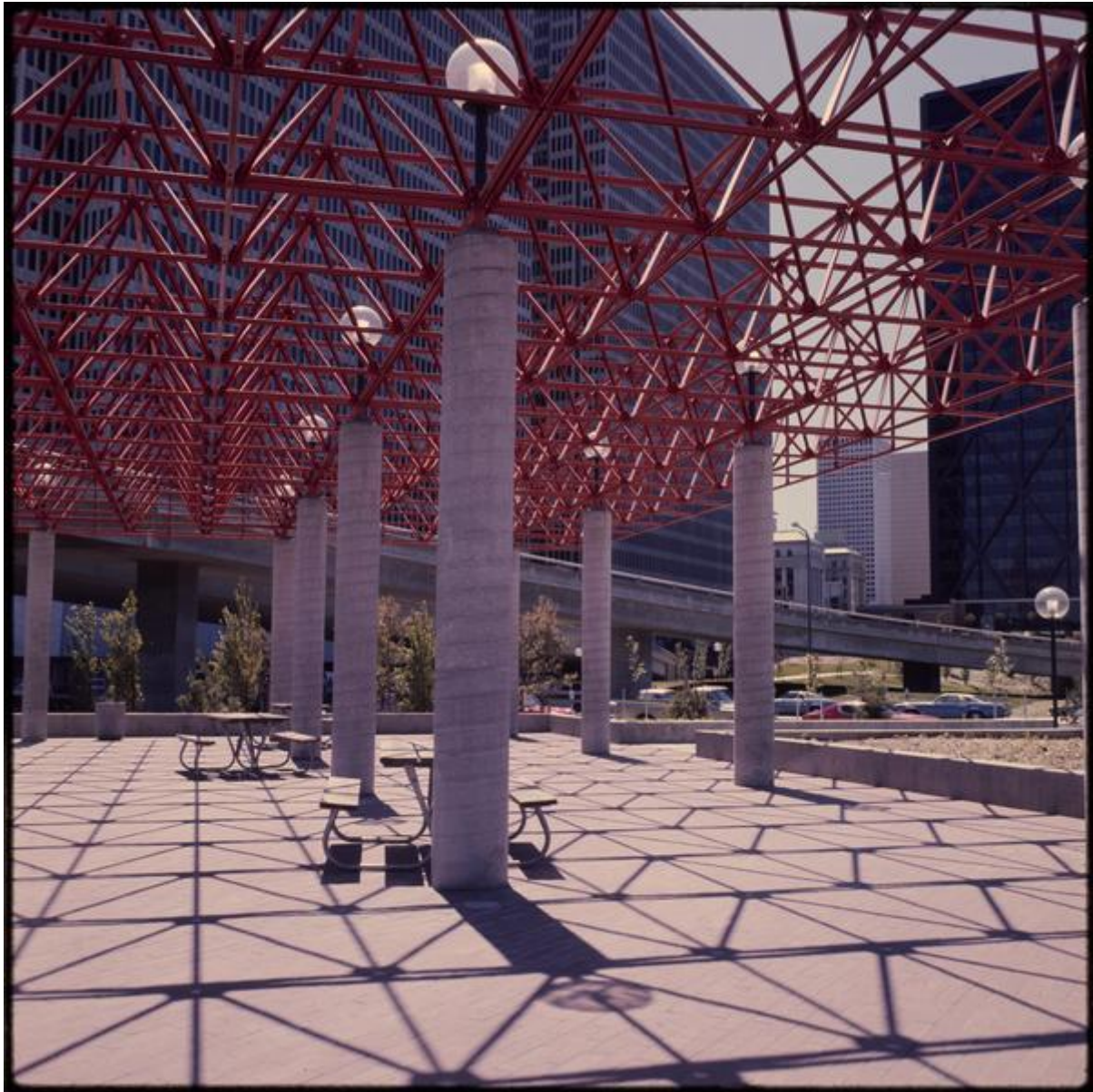


Figure 68. Pergola and brick patio, designed by Lawrence Halprin & Associates, undated photo. Source: San Francisco Public Library.



Figure 69. Aerial view of the eastern block of Sue Bierman Park, looking southeast, undated photo. Source: San Francisco Public Library, Robert Durden Color Slide Collection.





Figure 70. Aerial view of the western block of Sue Bierman Park (left) and bridge to Maritime Plaza (right), undated photo c. 1970s-80s. Note the pedestrian walkway in the location of present-day Davis Street. The bridge and stairs connecting three platforms have since been demolished. Source: San Francisco Public Library, Robert Durden Color Slide Collection.



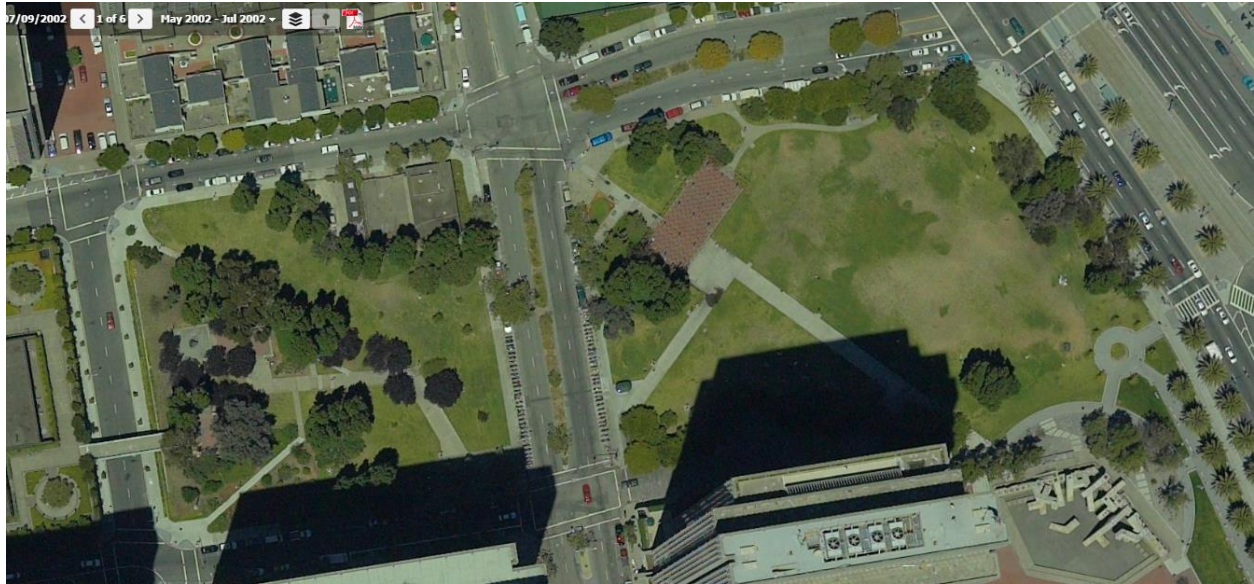


Figure 71. Bird's-eye view of Sue Bierman Park in 2002, following the demolition of Embarcadero Freeway and the reopening of Davis Street to vehicular traffic in 2001. Source: San Francisco Property Information Map, EagleView.

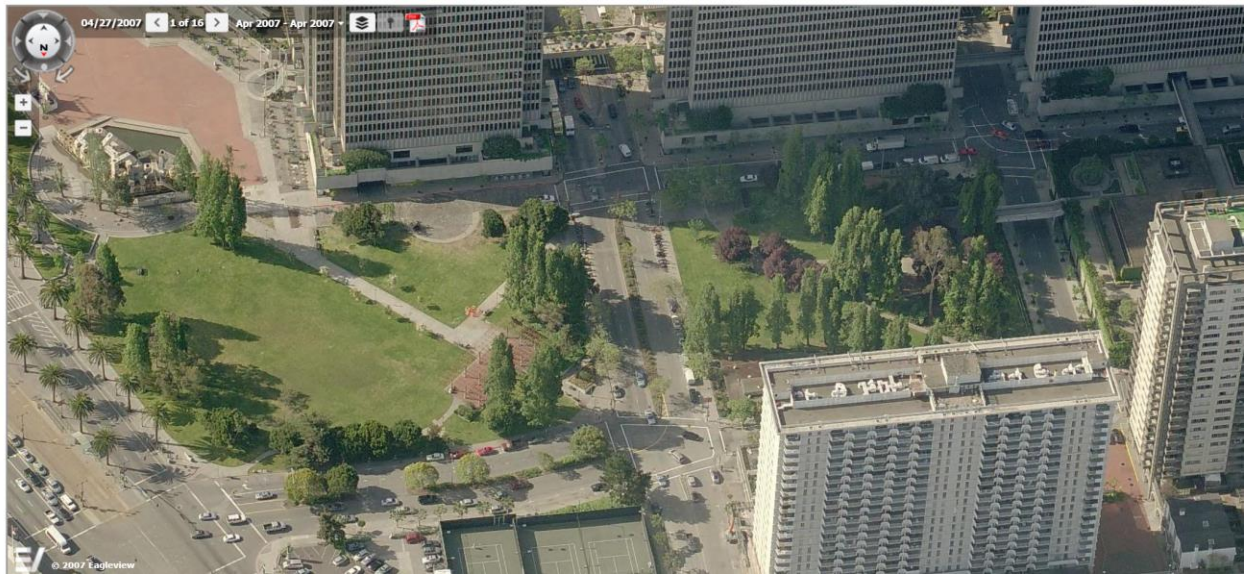


Figure 72. Bird's-eye view of Sue Bierman Park in 2007. Source: San Francisco Property Information Map, EagleView.





Figure 73. Bird's-eye view of Sue Bierman Park in 2011, during the renovation by ROMA Design Group. Note the removal of the stairs connecting the western park block to Maritime Plaza. Source: San Francisco Property Information Map, EagleView.

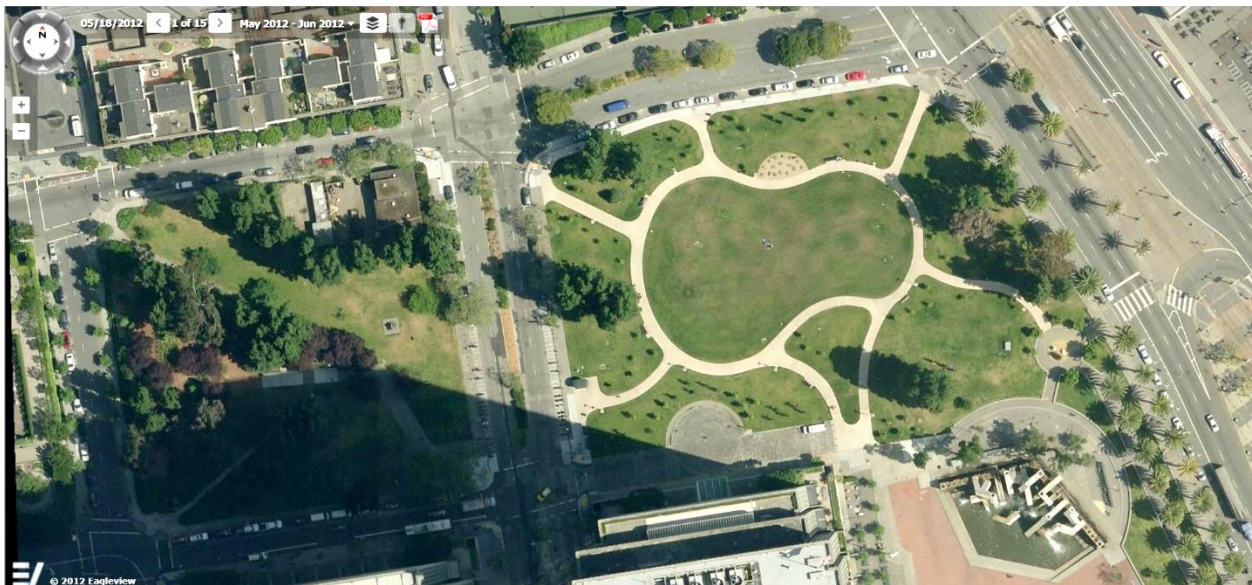


Figure 74. Bird's-eye view of Embarcadero Plaza in 2012, showing the completed landscape redesigned of the east park block by ROMA Design Group. Source: San Francisco Property Information Map, EagleView.



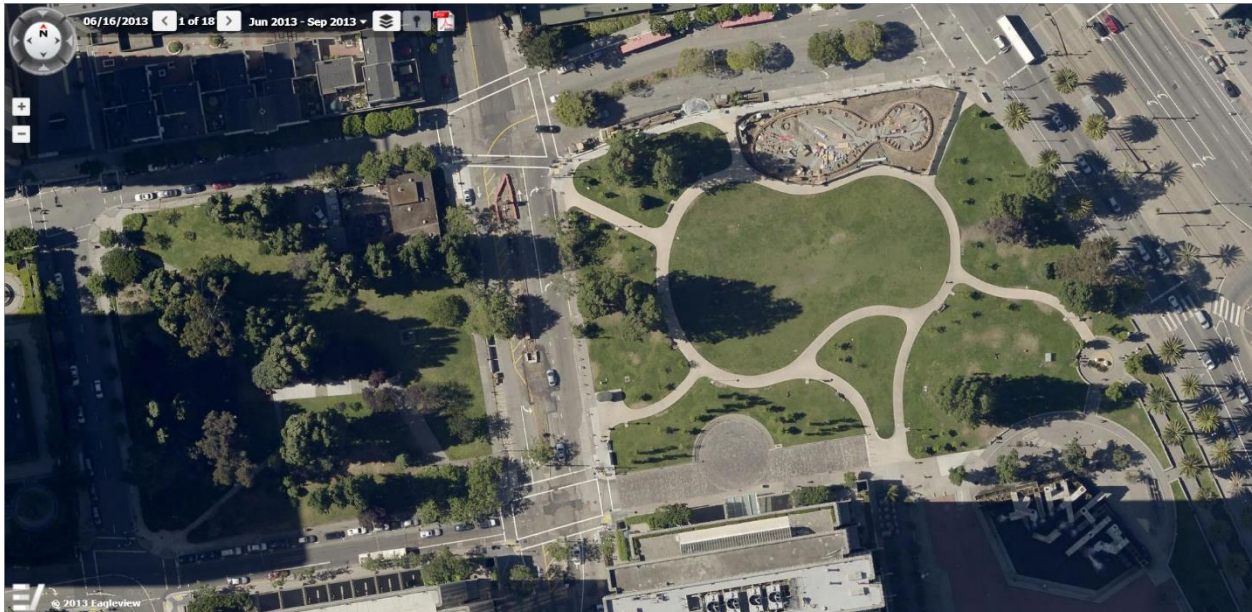


Figure 75. Bird's-eye view of Embarcadero Plaza in 2013, showing the playground designed by ROMA Design Group under construction. Source: San Francisco Property Information Map, EagleView.



Figure 76. Bird's-eye view of Embarcadero Plaza in 2024, showing the completed playground designed by ROMA Design Group. Source: San Francisco Property Information Map, EagleView.



## Appendix C – Building Permit Applications

Front and back pages of building permit applications currently on file with the San Francisco Department of Building Inspection. Cancelled and expired permits are not included. Permits for temporary events and structures are not included.

Table 1. Permit History for Sue Bierman Park				
Date Filed	Permit App. #	Owner or Tenant	Architect or Contractor	Work
2/24/2010	1205713	Recreation and Park Department	Dave C. Dunn (general contractor)	Remove trellis [pergola] from park while leaving the foundation.

APPROVED  
Dept. of Building Insp.

FEB 24 2010

VIVIAN L. DAY  
DIRECTOR/CHIEF BUILDING OFFICIAL  
DEPT. OF BUILDING INSPECTION

APPROVED FOR ISSUANCE

FEB 1 9 2010

BLDG.  
FORM 318

APPLICATION NUMBER

APPROVAL NUMBER

APPLICATION FOR BUILDING PERMIT  
ADDITIONS, ALTERATIONS OR REPAIRS

CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF BUILDING INSPECTION

FORM 3 ☐ OTHER AGENCIES REVIEW REQUIRED

FORM 8 ☒ OVER-THE COUNTER ISSUANCE

0 NUMBER OF PLAN SETS

DO NOT WRITE ABOVE THIS LINE

APPLICATION IS HEREBY MADE TO THE DEPARTMENT OF  
BUILDING INSPECTION OF SAN FRANCISCO FOR  
PERMISSION TO BUILD IN ACCORDANCE WITH THE PLANS  
AND SPECIFICATIONS SUBMITTED HERewith AND  
ACCORDING TO THE DESCRIPTION AND FOR THE PURPOSE  
HEREINAFTER SET FORTH.

DATE FILED 2/24/10	PERMIT NO. 1205713	ISSUED 02/24/10	(1) STREET ADDRESS OF JOB 232, 240, 242, 248 DRUMM ST.	BLOCK & LOT 0202/018
(2) ESTIMATED COST OF JOB \$9000		(2B) REVISED COST \$9000		
BY: <u>Vivian L. Day</u> DATE: 2/18/10				
INFORMATION TO BE FURNISHED BY ALL APPLICANTS				
LEGAL DESCRIPTION OF EXISTING BUILDING				
(A) TYPE OF CONSTR. 5	(5A) NO. OF STORIES OF OCCUPANCY 1	(5B) NO. OF BASEMENTS AND CELLARS 0	(7A) PRESENT USE TRELLIS STRUCTURE	(8A) OCCUP. CLASS U
(8B) NO. OF DWELLING UNITS 0				
DESCRIPTION OF BUILDING AFTER PROPOSED ALTERATION				
(A) TYPE OF CONSTR. 5	(5A) NO. OF STORIES OF OCCUPANCY 1	(5B) NO. OF BASEMENTS AND CELLARS 0	(7A) PROPOSED USE (LEGAL USE) (REMOVED)	(8A) OCCUP. CLASS U
(8B) NO. OF DWELLING UNITS 0				
(10) IS AUTO RUNWAY TO BE CONSTRUCTED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(11) WILL STREET SPACE BE USED DURING CONSTRUCTION?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(12) ELECTRICAL WORK TO BE PERFORMED?
(13) PLUMBING WORK TO BE PERFORMED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	EXPIRATION DATE 925 680 7846		
(14) GENERAL CONTRACTOR Dave C. Dunn 4046 Clayton Rd 94521				
(15) OWNER - LESSEE (CROSS OUT ONE) Rabik Recreation and Park Department				
(16) WRITE IN DESCRIPTION OF ALL WORK TO BE PERFORMED UNDER THIS APPLICATION (REFERENCE TO PLANS IS NOT SUFFICIENT) REMOVE TRELLIS AT CITY-OWNED PARK (FOUNDATION TO REMAIN)				
ADDITIONAL INFORMATION				
(17) DOES THIS ALTERATION CREATE ADDITIONAL HEIGHT OR STORY TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(18) IF (17) IS YES, STATE NEW HEIGHT AT CENTER LINE OF FRONT FT.	(19) DOES THIS ALTERATION CREATE DECK OR HORIZ. EXTENSION TO BUILDING?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>
(21) WILL SIDEWALK OVER SUB-SIDEWALK SPACE BE REPAIRED OR ALTERED?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(22) WILL BUILDING EXTEND BEYOND PROPERTY LINE?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	(23) ANY OTHER EXISTING BLDG. ON LOT? (IF YES, SHOW ON PLOT PLAN)
(24) DOES THIS ALTERATION CONSTITUTE A CHANGE OF OCCUPANCY?	YES <input type="checkbox"/> NO <input checked="" type="checkbox"/>	CALIF. CERTIFICATE NO.		
(25) ARCHITECT OR ENGINEER (DESIGN <input type="checkbox"/> CONSTRUCTION <input type="checkbox"/> N/A				
(26) CONSTRUCTION LEADER (ENTER NAME AND BRANCH DESIGNATION IF ANY, IF THERE IS NO KNOWN CONSTRUCTION LEADER, ENTER "UNKNOWN") UNKNOWN				

IMPORTANT NOTICES

No change shall be made in the character of the occupancy or use without first obtaining a Building Permit authorizing such change. See San Francisco Building Code and San Francisco Housing Code.

No portion of building or structure or scaffolding used during construction, to be closer than 6' to any wire containing more than 750 volts See Sec 365, California Penal Code.

Pursuant to San Francisco Building Code, the building permit shall be posted on the job. The owner is responsible for approved plans and application being kept at building site.

Grade lines as shown on drawings accompanying this application are assumed to be correct. If actual grade lines are not the same as shown revised drawings showing correct grade lines, cuts and fills together with complete details of retaining walls and wall footings required must be submitted to this department for approval.

ANY STIPULATION REQUIRED HEREIN OR BY CODE MAY BE APPEALED.

BUILDING NOT TO BE OCCUPIED UNTIL CERTIFICATE OF FINAL COMPLETION IS POSTED ON THE BUILDING OR PERMIT OF OCCUPANCY GRANTED, WHEN REQUIRED.

APPROVAL OF THIS APPLICATION DOES NOT CONSTITUTE AN APPROVAL FOR THE ELECTRICAL WIRING OR PLUMBING INSTALLATIONS. A SEPARATE PERMIT FOR THE WIRING AND PLUMBING MUST BE OBTAINED. SEPARATE PERMITS ARE REQUIRED IF ANSWER IS "YES" TO ANY OF ABOVE QUESTIONS (10) (11) (18) (22) OR (24)

THIS IS NOT A BUILDING PERMIT. NO WORK SHALL BE STARTED UNTIL A BUILDING PERMIT IS ISSUED.

In dwellings all insulating materials must have a clearance of not less than two inches from all electrical wires or equipment.

CHECK APPROPRIATE BOX  
☐ OWNER ☐ ARCHITECT  
☐ LESSEE ☐ AGENT  
☐ CONTRACTOR ☐ ENGINEER

APPLICANT'S CERTIFICATION

I HEREBY CERTIFY AND AGREE THAT IF A PERMIT IS ISSUED FOR THE CONSTRUCTION DESCRIBED IN THIS APPLICATION, ALL THE PROVISIONS OF THE PERMIT AND ALL LAWS AND ORDINANCES THEREIN WILL BE COMPLIED WITH.

9003-03 (REV. 10/02)

NOTICE TO APPLICANT

HOLD HARMLESS CLAUSE. The permittee(s) by acceptance of the permit, agree(s) to indemnify and hold harmless the City and County of San Francisco from and against any and all claim, demands and actions for damages resulting from operations under the permit, regardless of negligence of the City and County of San Francisco, and to assume the defense of the City and County of San Francisco against all such claims, demands or actions.

In conformity with the provisions of Section 3900 of the Labor Code of the State of California, the applicant shall have coverage under (I), or (II) designated below or shall indicate item (III), or (IV), or (V), whichever is applicable. If however item (V) is checked item (IV) must be checked as well. Mark the appropriate method of compliance below.

I hereby affirm under penalty of perjury one of the following declarations:

( ) I. I have and will maintain a certificate of consent to self-insure for workers' compensation, as provided by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued.

( ) II. I have and will maintain workers' compensation insurance, as required by Section 3700 of the Labor Code, for the performance of the work for which this permit is issued. My workers' compensation insurance carrier and policy number are:

Center: State Fund  
Policy Number: 467-1772-1

( ) III. The cost of the work to be done is \$100 or less.

( ) IV. I certify that in the performance of the work for which this permit is issued, I shall not employ any person in any manner so as to become subject to the workers' compensation laws of California. I further acknowledge that I understand that in the event that I should become subject to the workers' compensation provisions of the Labor Code of California and fail to comply therewith with the provisions of Section 3800 of the Labor Code, that the permit herein applied for shall be deemed revoked.

( ) V. I certify as the owner (or the agent for the owner) that in the performance of the work for which this permit is issued, I will employ a contractor who complies with the workers' compensation laws of California and who, prior to the commencement of any work, will file a completed copy of this form with the Central Permit Bureau.

OFFICE COPY

Date

# CONDITIONS AND STIPULATIONS

REFER TO:	<p>APPROVED: 15-558-6870, to schedule inspections for building, electrical and / or plumbing. This application is approved without site inspection. Detailed plumbing or electrical plan review and does not constitute an approval of the building. Work authorized must be done in strict accordance with all applicable codes. Any electrical or plumbing work shall require appropriate supervision.</p> <p>By: <u>TOM C. HUI, DEPT. OF BLDG. INSP.</u> <u>2/10/10</u></p>	<p>DATE: _____</p> <p>REASON: _____</p>
<input checked="" type="checkbox"/>	<p>APPROVED:</p> <p><u>Remove traffic at Perry Park</u> <u>Fountain to remain.</u> <u>Kevin Kelley 2/10/10</u></p> <p>DEPARTMENT OF CITY PLANNING</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p><u>N/A TCH</u></p> <p>BUREAU OF FIRE PREVENTION &amp; PUBLIC SAFETY</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>MECHANICAL ENGINEER, DEPT. OF BLDG. INSPECTION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>CIVIL ENGINEER, DEPT. OF BLDG. INSPECTION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>BUREAU OF ENGINEERING</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>DEPARTMENT OF PUBLIC HEALTH</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>REDEVELOPMENT AGENCY</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>
<input type="checkbox"/>	<p>APPROVED:</p> <p>HOUSING INSPECTION DIVISION</p>	<p>NOTIFIED MR. _____</p> <p>DATE: _____</p> <p>REASON: _____</p>

HOLD SECTION - NOTE DATES AND NAMES OF ALL PERSONS NOTIFIED DURING PROCESSING

I agree to comply with all conditions or stipulations of the various bureaus or department noted on this application, and attached statements of conditions or stipulations, which are hereby made a part of this application.

Number of attachments ☐

OWNER'S AUTHORIZED AGENT \_\_\_\_\_



## Appendix D – Selected Newspaper Articles & Board Resolutions

The following selected newspaper articles and board resolutions were collected during the course of research. The following documents are included within this appendix in chronological order:

- Board of Supervisors Resolution No. 543-74. "Granting Revocable Permission to the Recreation and Park Commission to Occupy Portion of Davis, Drumm, Clay and Washington Streets in Connection with Justin Herman Park," July 8, 1974.
- Alexander Fried, "A new charm for the city," *San Francisco Examiner*, November 16, 1975.
- Bay City News. "Supervisors Delay Construction on Davis Street Site." *San Francisco Examiner*, March 14, 2001, A4.
- "SAN FRANCISCO - Davis Street Walkway Reopens to Vehicles." *San Francisco Chronicle*, July 27, 2001, A20.
- Winegarner, Beth. "Upgrades on Table for Bierman Park." *San Francisco Examiner*, June 5, 2008, 4.
- "Public Notices." *San Francisco Examiner*, April 17, 2009, A43.
- King, John. "S.F.'s Redo of Sue Bierman Park Wastes Opportunity." *SFGate*, October 15, 2011.

FILE NO 73-74-3

RESOLUTION NO 543-74

GRANTING REVOCABLE PERMISSION TO THE RECREATION AND PARK COMMISSION TO OCCUPY A PORTION OF DAVIS, DRUMM, CLAY AND WASHINGTON STREETS IN CONJUNCTION WITH JUSTIN HERMAN PARK.

RESOLVED, that permission, revocable at the will of the Board of Supervisors, is hereby granted to the Recreation and Park Commission to occupy the following streets in conjunction with the Justin Herman Park, as shown on Sheets 2, 3, 4, L-1, L-2 and E-1 of plans entitled "Justin Herman Park - Phase II", prepared by Joint Venture Architects - Lawrence Halprin & Associates, John S. Bolles Associates, and Mario J. Ciampi & Associates, dated April 24, 1974:

1. Davis Street between Clay and Washington Streets, for a pedestrian bridge, retaining walls, landscaping, planting and irrigation system.
2. Portion of the sidewalk area on the north side of Clay Street east of Davis Street, adjacent to the freeway on-ramp, for landscaping, planting and irrigation system.
3. Portion of the sidewalk area on the south side of Washington Street east of Davis Street, adjacent to the freeway off-ramp, for landscaping, planting and irrigation system.
4. Portion of the sidewalk area on the south side of Washington Street between The Embarcadero and Drumm Street, for retaining wall, landscaping, planting, irrigation system and asphalt paths.
5. Drumm Street between Clay and Washington Streets, for a lighting conduit running under and across the street, and two lights, a pull box and a conduit in the center island.

FURTHER RESOLVED, that the fee of \$322.00 established by Resolution No. 347-73, pursuant to the provisions of Section 714.3 of the Public Works Code, be waived as this Board of Supervisors finds that a benefit will accrue to the public from the proposed encroachments.

DESCRIPTION APPROVED:

RECOMMENDED:

M. Paterson  
Director of Public Works

APPROVED:

[Signature]  
Chief Administrative Officer

JUL 8 1974

Adopted—Board of Supervisors, San Francisco

Ayes: Supervisors Barbagelata, Feinstein, Francols, Gonzales, Kopp, Mendelsohn, Molinari, Noller, Pelosi, Tamaras, von Beroldingen.

~~Noes: Supervisors~~

Absent: Supervisor MENDELSON

I hereby certify that the foregoing resolution was adopted by the Board of Supervisors on July 8, 1974.



REV. REC '69

WASHINGTON

PHASE II

R-5C

R-5C

201

R-5C

ST.

EMBARRADERO

KEY

SUB-AREA I - BLOCK 202, 203

SUB-AREA II - DAVIS ST. & BLOCK 203

SUB-AREA III - BLOCK 202 & CLAY & MERCHANT ST.

SUB-AREA IV - GOLDEN STAIR

SUB-AREA V - ART GALLERIES UNDER RAMP

STATE PROPERTY

CITY PROPERTY

S.F.R.A. PROPERTY

REDEVELOPMENT AREA BOUNDARY

ST.

FRONT

CLAY

203

STATE

OFF RAMP

OFF RAMP

202

STATE

OFF RAMP

OFF RAMP

JUSTIN HERMAN  
EMBARRADERO  
PARK PHASE I  
PLAZA

COMERCIAL

DAVIS

DRUM

231

S.F.R.A.

S.F.R.A.

13

C-3

232

S.F.R.A.

14

CITY

233

C-3



IN LIEU OF PINK

5 3-77

CITY AND COUNTY OF SAN FRANCISCO  
DEPARTMENT OF PUBLIC WORKS  
ORDER NO. 98,312

RESOLUTION TO BOARD OF SUPERVISORS GRANTING PERMISSION TO RECREATION AND PARK COMMISSION TO OCCUPY PORTION OF DAVIS, DRUMM, CLAY AND WASHINGTON STREETS IN CONNECTION WITH JUSTIN HERMAN PARK.

In conjunction with the Justin Herman Park, by letter dated April 29, 1974 to the Director of Public Works, the San Francisco Redevelopment Agency stated that because of various potential legal problems, the City Attorney's Office and the Real Estate Department have decided that it would be better to officially close Davis Street between Clay and Washington Streets to vehicular traffic rather than to vacate the street, and that legislation to this effect has been prepared by the Real Estate Department.

Since Davis Street will remain a public street, the Redevelopment Agency requested an encroachment permit to construct the park improvements in and over Davis Street, which improvements consist of a pedestrian bridge, retaining walls, landscaping and planting. It is desirable to include in the encroachment permit such other planned improvements as the landscaping and planting of portion of the sidewalk area of Clay Street east of the freeway on-ramp, the landscaping and planting of portion of the sidewalk of Washington Street east of the freeway off-ramp, and two lights on the center island of Drumm Street between Clay and Washington Streets together with a pull-box and underground conduits, all such improvements being proposed for, or in conjunction with the park.

The construction is financed with funds from the City and County of San Francisco, the Redevelopment Agency, State, Embarcadero Center, Golden Gateway Center and Alcoa Parking Garage Corporation. The Redevelopment Agency is acting as construction manager for the project. It is expected that the Recreation and Park Commission will assume the ownership and maintenance of the park after construction is completed satisfactorily.

The following is approved and transmitted to the Board of Supervisors:

Three copies of a proposed resolution granting revocable permission to the Recreation and Park Commission to occupy a portion of Davis, Drumm, Clay and Washington Streets in conjunction with Justin Herman Park.

It is recommended that the Board adopt this resolution.

RECOMMENDED:

S. M. Tatarian  
Director of Public Works

Robert C. Levy  
City Engineer  
May 2, 1974

Distribution Outside B.E.

Department File (2) w/resolution  
Board of Supervisors w/3 resolution - 1 signed  
Chief Administrative Officer w/resolution

Distribution Inside B.E.

H. H. Beneke  
D. Martin  
Div. of Sts. & Hwys.  
W. Daniels (2)

## THE ARTS

Page 14 Scene Nov. 16, 1975  
S.F. Sunday Examiner & Chronicle

# A new charm for the city

IT HAS TAKEN 15 YEARS to complete the two-phase park along the Embarcadero. The new Justin Herman Park segment is named in deserved tribute to the late redevelopment director who gave this city monumental service.

The new five acres of grassy knoll adjoin the brick-paved Embarcadero Plaza, which is at the foot of Market Street and extends in a more formal landscape space to Mission. The entire plaza-and-park is greatly used by neighboring office workers, tourists and the exhibits of street artists.

Formerly the district was crowded with drab little lodging houses, bars, an obsolete post office and other slumery. Now it is a valuable addition to San Francisco's charms, an urban community unit of art in itself.

In a quiet way even Justin Herman Park has a detail of puzzlement—a gazebo that stirs up more quips than controversy.

The central plaza with its embattled Vaillancourt Fountain offers direct entry to the Regency Hotel, whose spectacular lobby is like a modern carnival or bazaar. The area near Mission, across the way from the Ferry Building, has an old-school accent of its own in the equestrian statue of the locally historic Capt. Juan Bautista de Anza.

With all due compliment to the park-and-plaza amenities, improvements are possible. The Vaillancourt freak, which never fails to fascinate and/or annoy passersby, would give better entertainment if the city could clean its waters and keep its falls and vapors in full action more of the time. It's a rowdy

## Art/Alexander Fried

found-object thing. What kind of fountain would YOU put into its place?

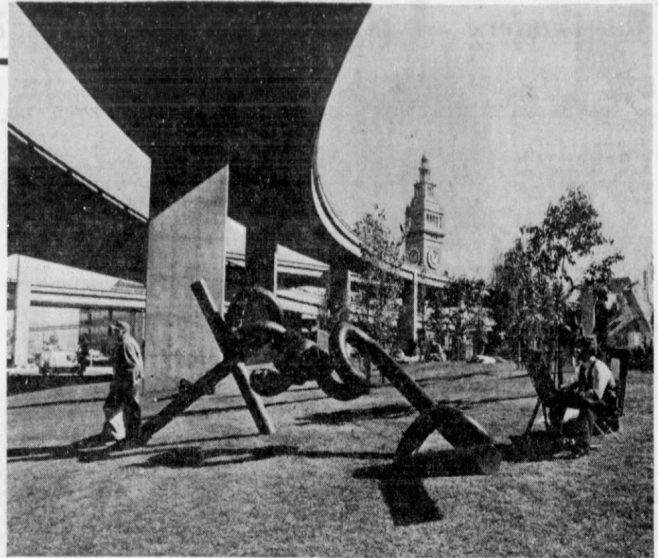
Along with its gracious landscape, Justin Herman Park has favorable aspects including its ready approach to the Bay on foot. (Just watch the signals as you cross the street.) It has some sight of the East Bay hills even through the freeway framework. It looks to the remarkable view of the Bay Bridge spanning high and far above land and water levels.

Though critics first kicked up a fuss about the freeway ramps, their clean, smooth curve over the park now is a pure, beautiful architectural sight and so is the almost silent flow of traffic over them. A keen contrast to the landscape is the big Voukos bronze sculpture, with its serpentine convolutions.

Proposals to tear down the freeway itself seem to me a pipe dream, for maybe 50 years. What would take its place for city and related transportation?

What should be torn down fast are the out-of-date piers that face the park. Their removal would tighten connection between people and the Bay. Likewise, as architect Mario Ciampi once suggested, would the removal of the humdrum Ferry Building itself with its tower remaining in place.

Speaking of the gazebo, what is a gazebo? It is a pavilion or summer house on a site affording an enjoyable view. The one in Justin Herman Park (designed by a Lawrence Halprin-Ciampi-Bolles team) is a puzzler because its reddish top metal



Examiner Photo by Walt Lynott

**JUSTIN HERMAN PARK** reveals beauty even in Embarcadero Freeway ramps.

framework and its pillars, over a small paved area, are wide open to sun, wind and rain.

In nice weather, I've seen several oldsters make it look like a pleasant enough haven as they sat at a few tables, read a book or ate a brown-bag lunch. Its

bare structure and straight lines make a contrast to the informal landscape.

To roof it and enclose it, say its defenders, would be to turn it into a secretive dump and hideout. Too dangerous until civilization comes back.



# Supervisors delay construction on Davis Street site

From Bay City News

The San Francisco Board of Supervisors has delayed construction on a Davis Street project downtown, noting that the wrong move could end up costing "tens of millions of dollars" in funding.

The potential reopening of Davis Street between Washington and Clay streets is one phase of the Embarcadero Roadway Project and would replace a pedestrian pathway through open space at the west end of Ferry Park along the waterfront.

On Monday, Supervisor Aaron Peskin introduced the resolution with urgency, but noted that San Francisco might jeopardize \$50 million to \$60 million in state and federal funding if the construction, set to begin next Monday, is not implemented.

After the Loma Prieta earthquake of 1989 damaged the freeway the deal was brokered during Art Agnos' mayoral administration.

Peskin said the compromise led to the federal government giving the money to take down the Embarcadero Freeway on the condition that the city would maintain a similar level of auto access and traffic flow as rebuilding the freeway would have provided.

## Davis Street reopening

The potential reopening of Davis Street between Washington and Clay streets is one phase of the Embarcadero Roadway Project and would replace a pedestrian pathway through open space at the west end of Ferry Park along the waterfront.



Source: Bay City News



ELAINE DALTON/Examiner



# Upgrades on table for Bierman Park

Sue Bierman Park, named for the former supervisor killed in an August 2006 car accident, could soon see \$1.8 million in upgrades following a vote today.

The 5.3-acre park was founded as Ferry Park but renamed in 2007 after Bierman, who was a member of the Planning Commission in the 1950s and 1960s before her election to the Board of Supervisors in 1992, where she served until 2000.

The first phase of improvements to the park, which Rec and Park and planning commissioners will consider today, would include further demolition of old structures, new foliage, Americans with Disabilities Act improvements and relocation of the Korean Memorial sculpture. — *Beth Winegarner*



**Bierman**

**2007.0842: Consideration of allocation of \$1,712,000 from the Downtown Special Park Fund for the renovation of Sue Bierman Park, (formerly known as Ferry Park, located on the blocks bounded by the Embarcadero and Washington, Davis, and Clay Streets, Lots 6, 15, 18, and 20 of Assessor's Block 0202 and Lot 014 of Assessor's Block 0203, as required by Section 139(g) of the Planning Code, discussion and possible action to approve an allocation of \$1.712 million in funds from the Downtown Park Special Fund. Funds would be used for renovation of Sue Bierman Park (Assessor's Block 202 & 203), formerly known as "Ferry Park."**

TOP STORY

37m ago



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## S.F.'s redo of Sue Bierman Park wastes opportunity

ARCHITECTURE

By **John King**, *Chronicle Urban Design Critic*

Oct 15, 2011



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Chris Womack works in Sue Bierman Park located west of the Embarcadero next to Justin Herman Plaza on Friday, October 14, 2011. The park has been newly upgraded.

Susana Bates/Special to The Chronicle

With its grassy central meadow, its meandering oval footpath and its old-fashioned black metal benches, San Francisco's makeover of Sue Bierman Park wants to sit amid genteel Victorian homes.



Instead it is framed by tower podiums and a parking lot, a busy roadway and the concrete rump of Vaillancourt Fountain – all of which make a far more lasting impression than the lost opportunity they surround.

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Rather than embrace the potential drama of a bay-facing block within a stone's throw of the Ferry Building, the city has spent \$1.9 million on a space that seems designed mainly to look nice from surrounding buildings. It improves on what was there before, but not in a way that will attract people seeking the vibrant spirit of today's city.

The redone park fills the block directly north of Justin Herman Plaza and Embarcadero Center, with the Embarcadero on the east and Drumm Street to the west. It also includes a thickly planted block to the west that so far has received minimal improvements.

The park is named for Sue Bierman, a former supervisor who started as a community activist fighting for urban  
It's an appropriate honor, since these 5.3 acres once were reserved for r  
Embarcadero Freeway. ✕

That double-deck imposition was demolished after the 1989 Loma Priet  
trees that had served to (slightly) buffer freeway noise and fumes. Sod v

residents of the adjacent Golden Gateway Commons began calling for permanent open space; the Recreation and Park Department acquired the parcels in 2001.

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Three years later, community meetings were held to discuss how to turn the accidental greensward into an enticing park. Construction began this spring, and the reborn park opened earlier this month.

## Basalt and ginkgoes

A concrete walkway circles the eastern block with six benches along the way. The ficus are gone but the poplars remain – they're popular with the wild parrots that also frequent Telegraph Hill – and carefully spaced ginkgoes now are part of the mix. Along the north rim are 16 scooped-out chunks of basalt that, theoretically, offer seating for adults and climbing opportunities for toddlers.

The new space is contoured to improve the irrigation and create a few low berms. The cobbled end of Clay Street has been cleared of trash bins. New paths lead into and out of Justin Herman Plaza.

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And that's it.



By all accounts, the community meetings were dominated by a sentiment that a quiet, traditional park was the best approach.

But that sort of space needs a sense of enclosure. You want to feel part of a context, out of the swirl yet part of an urbane scene. Here, by contrast, there's little to look at except the windowless bases of 1960s-era slabs, the tall fence of a private health club and the afternoon swirl of parrots from tree to tree.

All this is compounded by a design that squanders the setting: The park's elevation is too low to allow strong views of the bay. You're more aware of traffic on the Embarcadero, especially since a line of poplars screens out much of the Ferry Building.

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As for those basalt chunks, Friday morning their concave surfaces still held pools of water from the prior weekend's rain. Not exactly ideal seating conditions.

## What might have been

The designers say that with time the space will blossom.

"The main goal was to make it a better park, improve the edges, take a light touch," said [Bonnie Fisher of Roma Design Group](#), which worked on Bierman Park with landscape architects from the [Department of Public Works](#). "The adjustments to be made around it will be interesting to see."

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True, Embarcadero Center is spiffing up its lobby entrance on Clay Street. Supervisor [David Chiu](#) has introduced an ordinance to let the park add a play structure, which wasn't among the improvements allowed in the 2001 transfer.

But when you look to other American cities, it's galling to think what might have been.

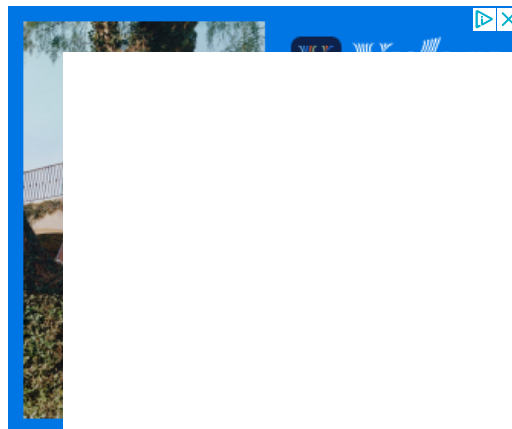
New urban spaces in the past decade have become catalysts of civic pride and neighborhood revival; ask anyone who's been to Millennium Park in Chicago, or the [High Line](#) in New York. Landscape architecture is taking dynamic and sculptural forms.

Before visiting Bierman Park one morning last week, I strolled along the bay side of the Ferry Building. Few shops were open inside, the commute peak had passed, but 35 people lingered to savor the scene, filling benches and leaning against the rails.

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Across the way there were six people, one barking obscenities from his :  
of the day when the Embarcadero Center's towers don't blot out the sur

With Sue Bierman Park, San Francisco followed the design path of least resistance so as not to ruffle the neighbors. Sometimes, though, being pretty is not enough.

E-mail [John King](mailto:jking@sfchronicle.com) at [jking@sfchronicle.com](mailto:jking@sfchronicle.com).  
Oct 15, 2011



**John King**  
URBAN DESIGN CRITIC



John King is the Chronicle's former urban design critic. His book "Portal: San Francisco's Ferry Building and the reinvention of American cities," is now available in paperback by W.W. Norton.

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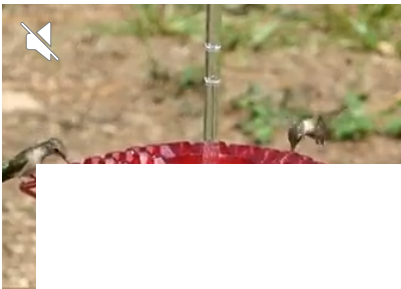
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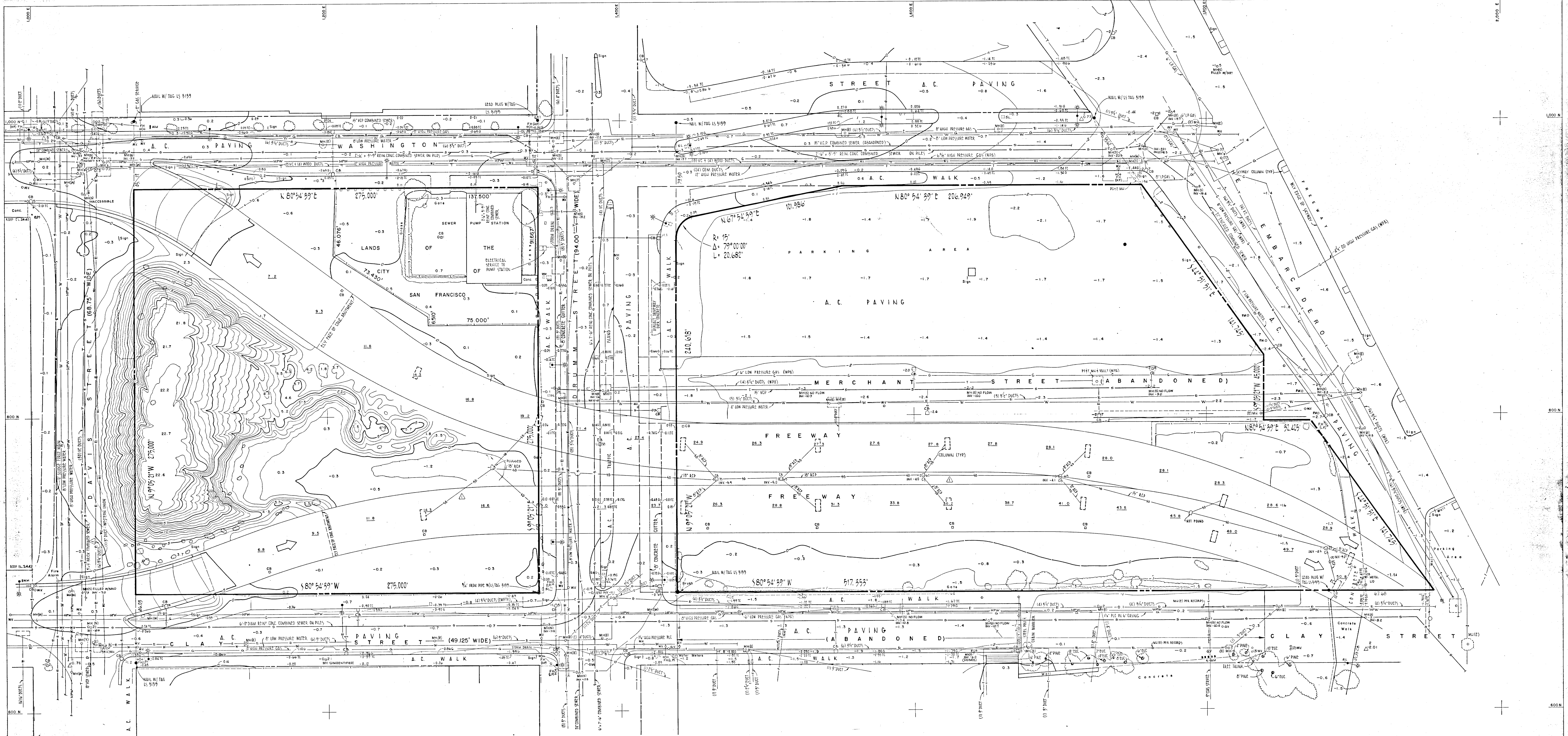
Let's Play



## Appendix E – 1974 Lawrence Halprin Drawings

Drawings of "Justin Herman Park Phase II" (now known as Sue Bierman Park), prepared by Lawrence Halprin & Associates in 1974, on file at the Recreation and Park Department.





GENERAL NOTES:

**UTILITY NOTES:**  
LOCATION INDICATED FOR UNDERGROUND UTILITIES IS BASED UPON OBSERVED SURFACE EVIDENCE SUPPLEMENTED BY RECORDS, OBTAINED FROM THE RESPECTIVE UTILITY ENTITIES, AND NO RESPONSIBILITY IS ASSUMED BY THE SURVEYOR FOR THE LOCATION AND CAPACITY OF SAID UTILITIES.

**BASIS OF SURVEY:**  
CITY OF SAN FRANCISCO'S "RECORD OF SURVEY MAP OF THE GOLDEN GATEWAY" - MAP NO. T-14-11.

**SURVEY APPROPRIATION:**  
GOLDEN GATEWAY REDEVELOPMENT PROJECT AREA E-1.  
SAN FRANCISCO, CALIFORNIA, FILE NUMBER: SAN 9106, CHANGE 2, WITH REVISIONS DATED MAY, 1966, (A STREET OPENING AND CLOSING MAP).

CITY OF SAN FRANCISCO, DIVISION OF PUBLIC WORKS, REVISED 1972, AND PAGE 205, REVISED 1964.

LEGEND:

- 0.75 TC TOP OF CURB ELEVATION (CONCRETE OR GRANITE)
- 0.51 G GUTTER ELEVATION
- 1.0 8 MA (S) SANITARY SEWER MANHOLE WITH RIM ELEVATION
- 0.9 MA (E) ELECTRICAL
- 1.0 MA (U) TELEPHONE
- 1.0 2 MA (U) WATER
- 0.0 MV WATER VALVE
- 0.0 V GAS VALVE
- W.M. WATER METER
- E ELECTRICAL PULLBOX
- T TELEPHONE PULLBOX
- SL STREET LIGHT POLE
- CB CATCH BASIN
- TOP OF FURNACE AND PREHEATER
- SHADZ AREA SHADZ AREA
- SD STORM DRAIN
- W.L. WATER LINE
- W.P. W.P. WATER LINE
- S SANITARY SEWER
- E ELECTRICAL CONDUIT
- T TELEPHONE CONDUIT
- G GAS LINE
- W.S. UTILITY INFORMATION OBTAINED FROM VPA PROJECT NO. 8052 UNDERGROUND MAPPING

REVISED FEBRUARY 1974:  
ADDED STATE DIVISION OF HIGHWAY & ROAD DRAIN SYSTEM  
DELETED NOTATION FOR HEMER LINE ON BATH STREET

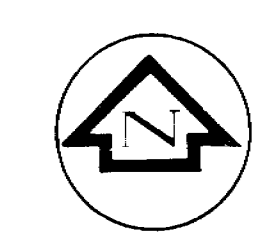
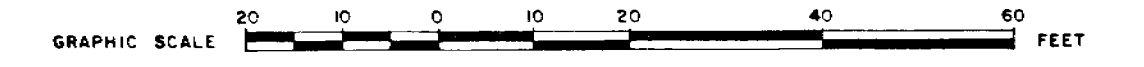
**JUSTIN HERMAN PARK :: PHASE II**  
**EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1**

**SITE SURVEY**  
SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE  
SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE  
SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS  
JOINT VENTURE ARCHITECTS:  
LAURENCE HALPRIN & ASSOCIATES  
JOHN S. BOLLES ASSOCIATES  
MARIO J. CIAMPI & ASSOCIATES

YARNELLE ROU  
CONSULTING CIVIL ENGINEERS & LAND SURVEYORS  
602 WASHINGTON STREET  
SAN FRANCISCO, CALIFORNIA

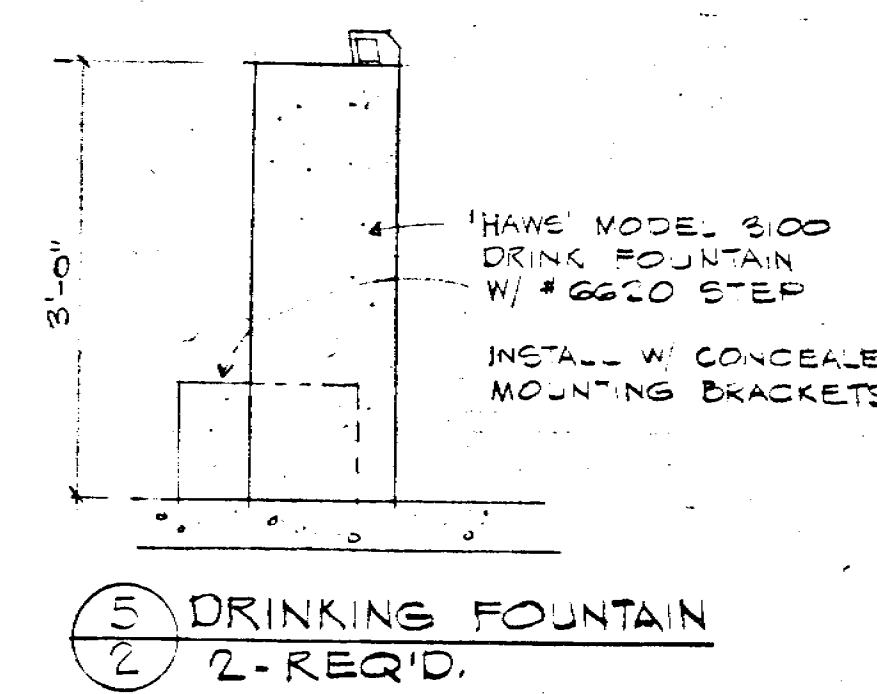
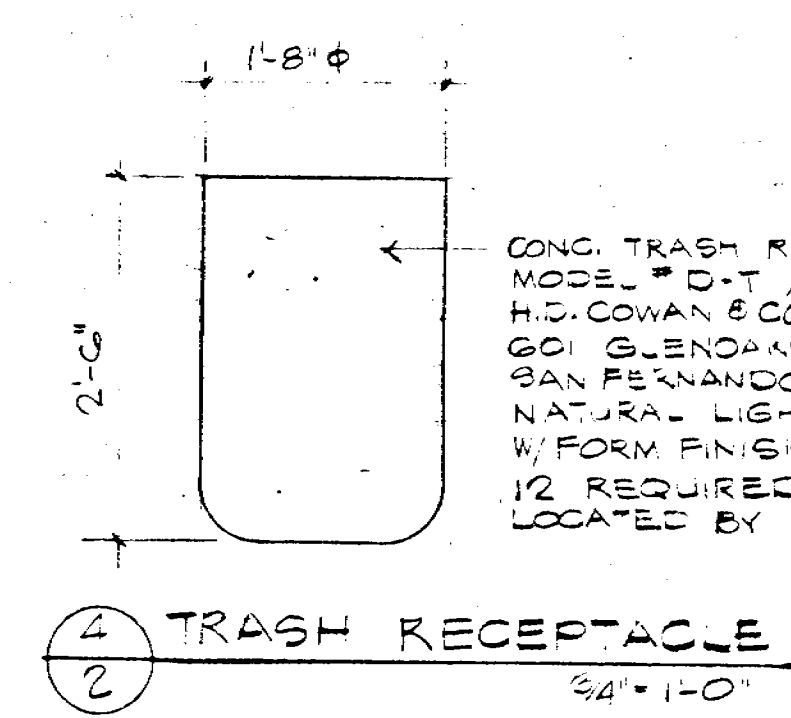
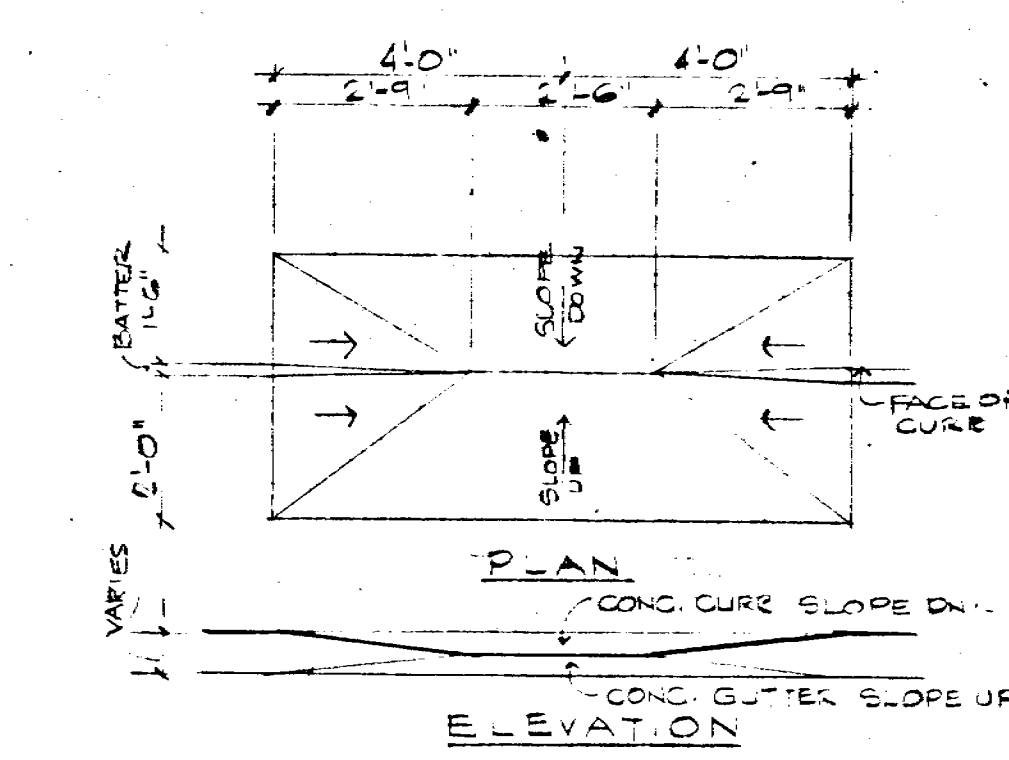
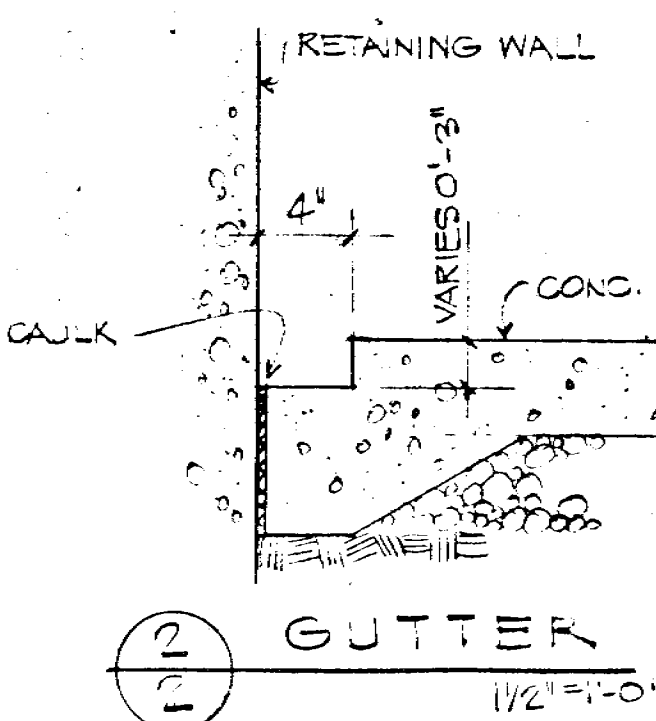
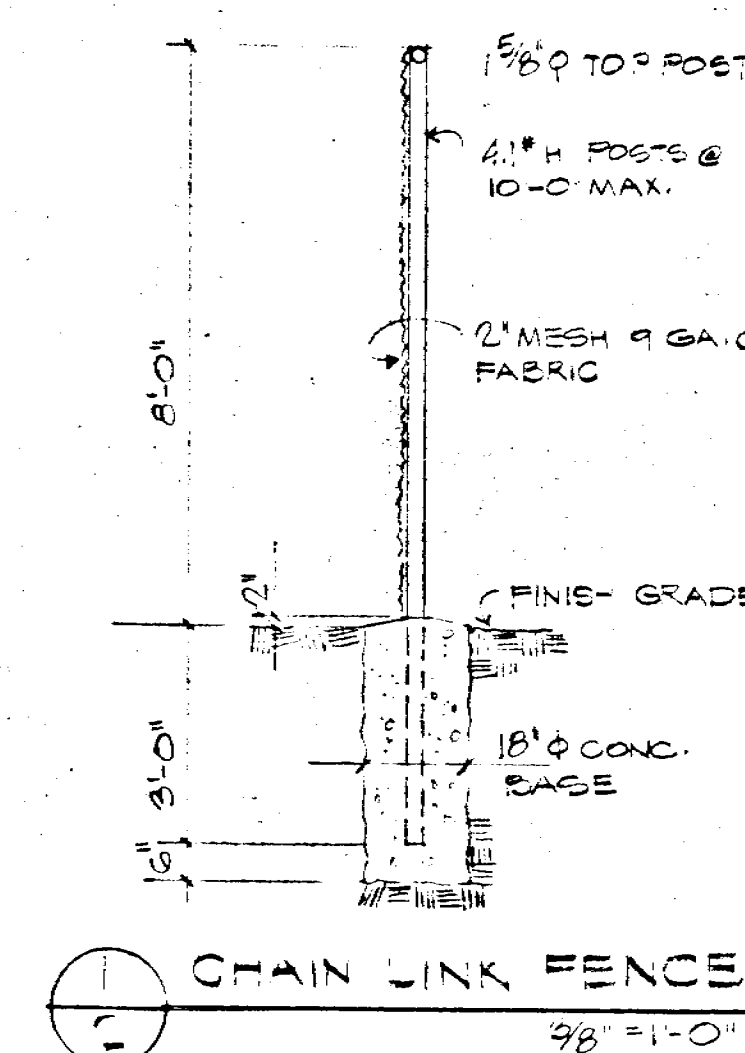
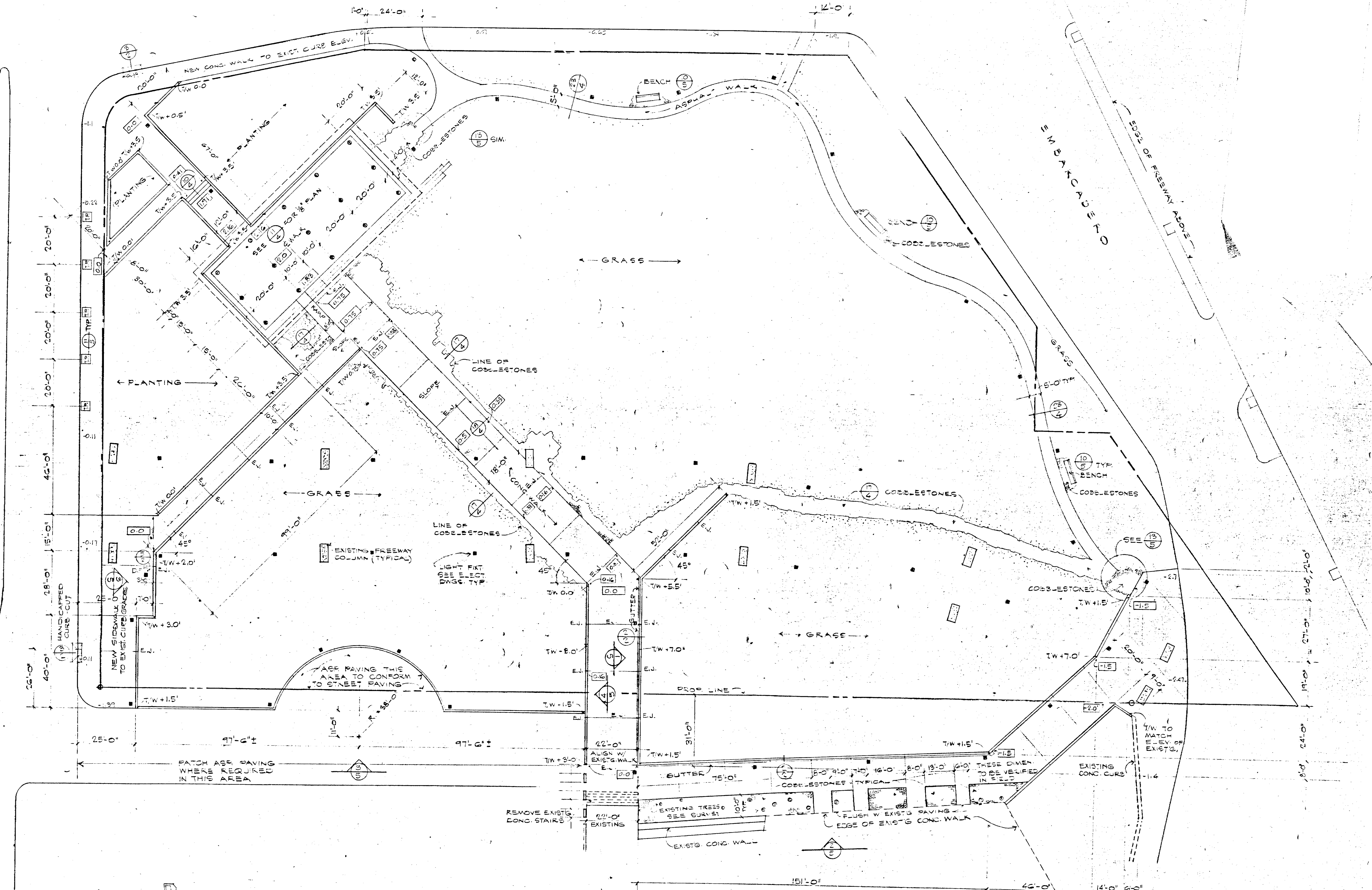
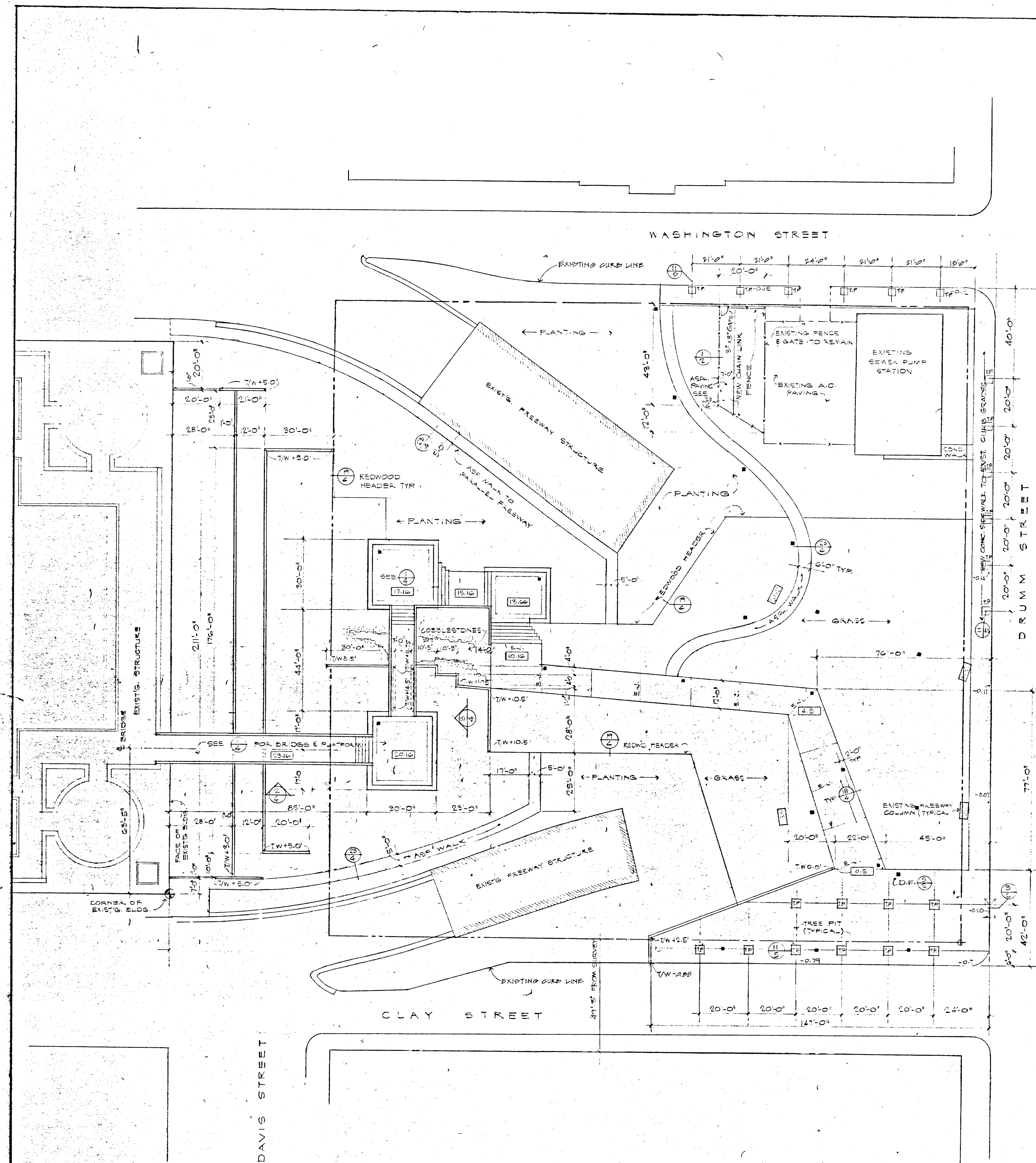
APPROVED BY: *Martin B. Ron*  
MARTIN B. RON, L.S. 9199

SCALE: 1" = 20'



FIELD SURVEY CONTROL BY YARNELLE & RON  
ELEVATIONS ARE BASED ON SAN FRANCISCO DATUM





**LEGEND & SYMBOLS**

- 1-1-1- EXISTING CURB ELEVATIONS
- 2-2-2- NEW FINISHED ELEVATIONS
- 3-3-3- NEW CONC. PAVING
- 4-4-4- ELEVATION AT TOP OF WALL
- 5-5-5- EXPANSION JOINT
- 6-6-6- SEE 18' x 18' FOR WALLS
- 7-7-7- 1/2' x 1/2' FOR WALLS
- 8-8-8- FLUSH OR SQUARE TYPE
- 9-9-9- LIGHT FIXTURE, SEE ELEC. DGS.

**JUSTIN HERMAN PARK :: PHASE II**  
 EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1

**SITE PLAN**

SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE  
 SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE  
 SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

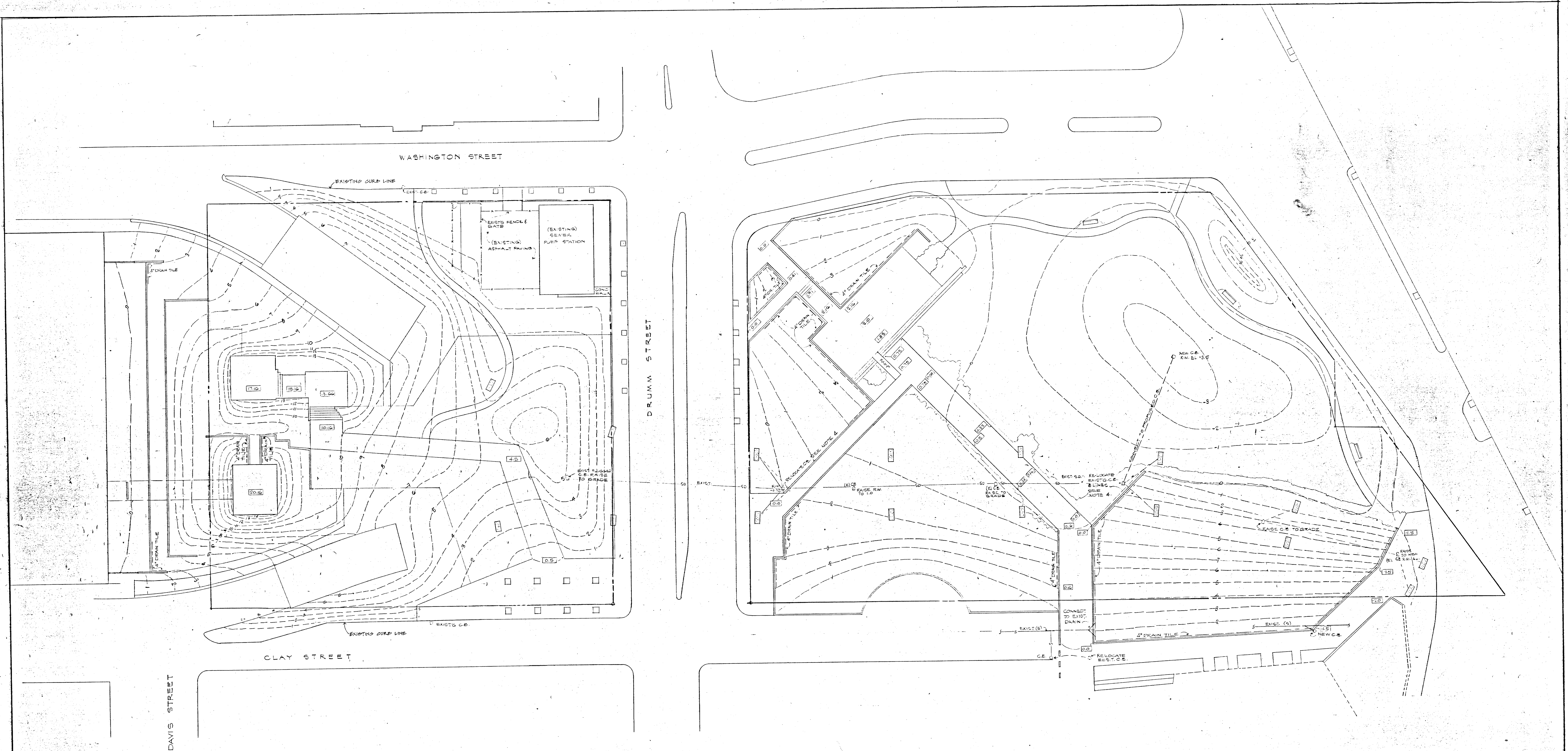
JOINT VENTURE ARCHITECTS ::  
 LAWRENCE HALPRIN & ASSOCIATES  
 JOHN S. BOLLES ASSOCIATES  
 MARIO J. CIAMPI & ASSOCIATES

SCALE: 1"=20'  
 DATE: 4/14/74  
 DRAWN: R.C.B.

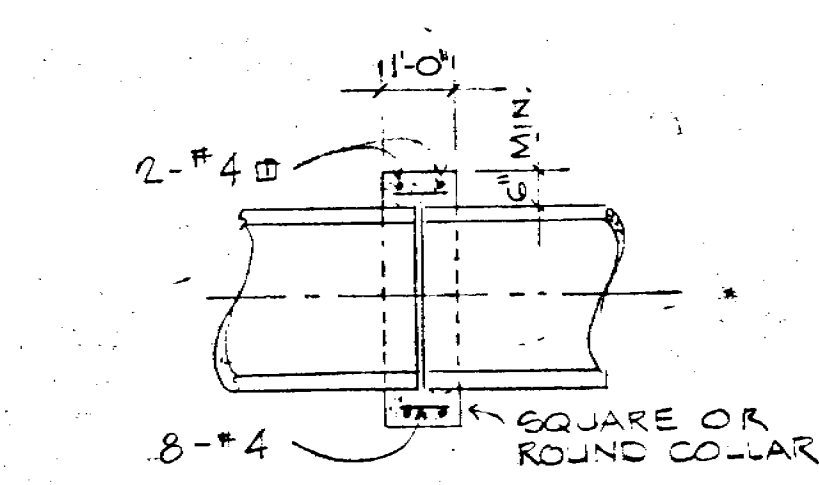
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SHEET 2 OF 5

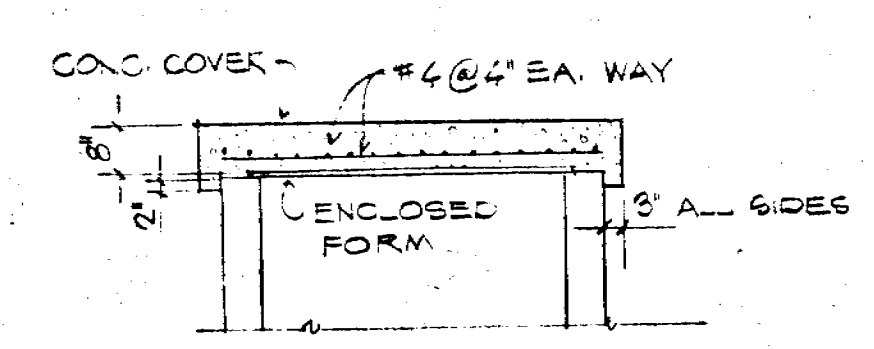




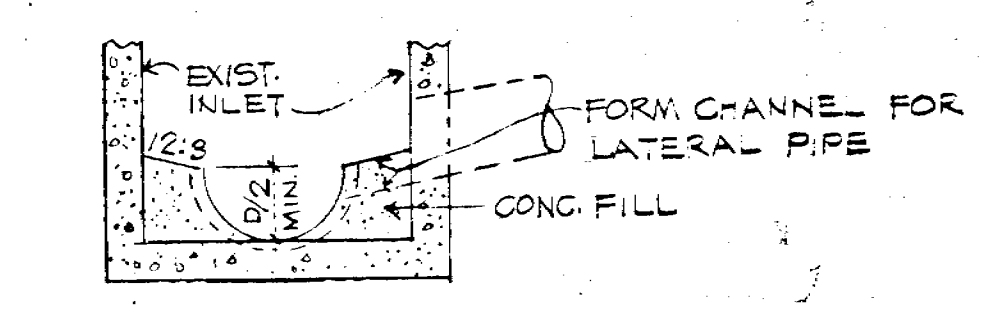
- NOTES:
1. FOR EXISTING GRADE ELEVATIONS SEE SURVEY SHT. 1
  2. FOR DIMENSIONS, INFORMATION AND NOTES NOT SHOWN OR INDICATED SEE SHT. 2.
  3. VERIFY EXACT LOCATION, NUMBER AND TYPE OF CATCHBASIN. RIMS WITH COVERS THAT ARE REQUIRED TO BE RAISED TO NEW ELEVATIONS WITH THE UTILITY COMPANIES AND/OR SERVICE DEPARTMENTS INVOLVED.
  4. CONTRACTOR'S OPTION: EITHER CAP & BOTTOM ROUND ABANDONED CATCH BASIN OR REMOVE CATCH BASIN & FILL 18\"/>



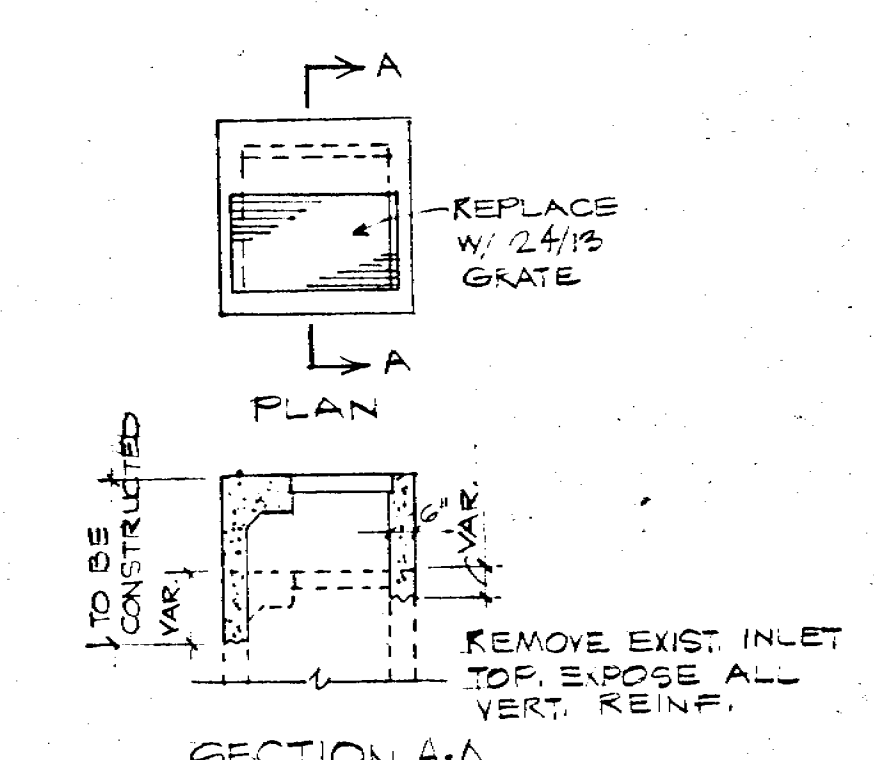
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NO SCALE



2 INLET CAP DETAIL  
NO SCALE



3 BOTTOM ROUNDING  
FOR CAPPED INLET  
NO SCALE



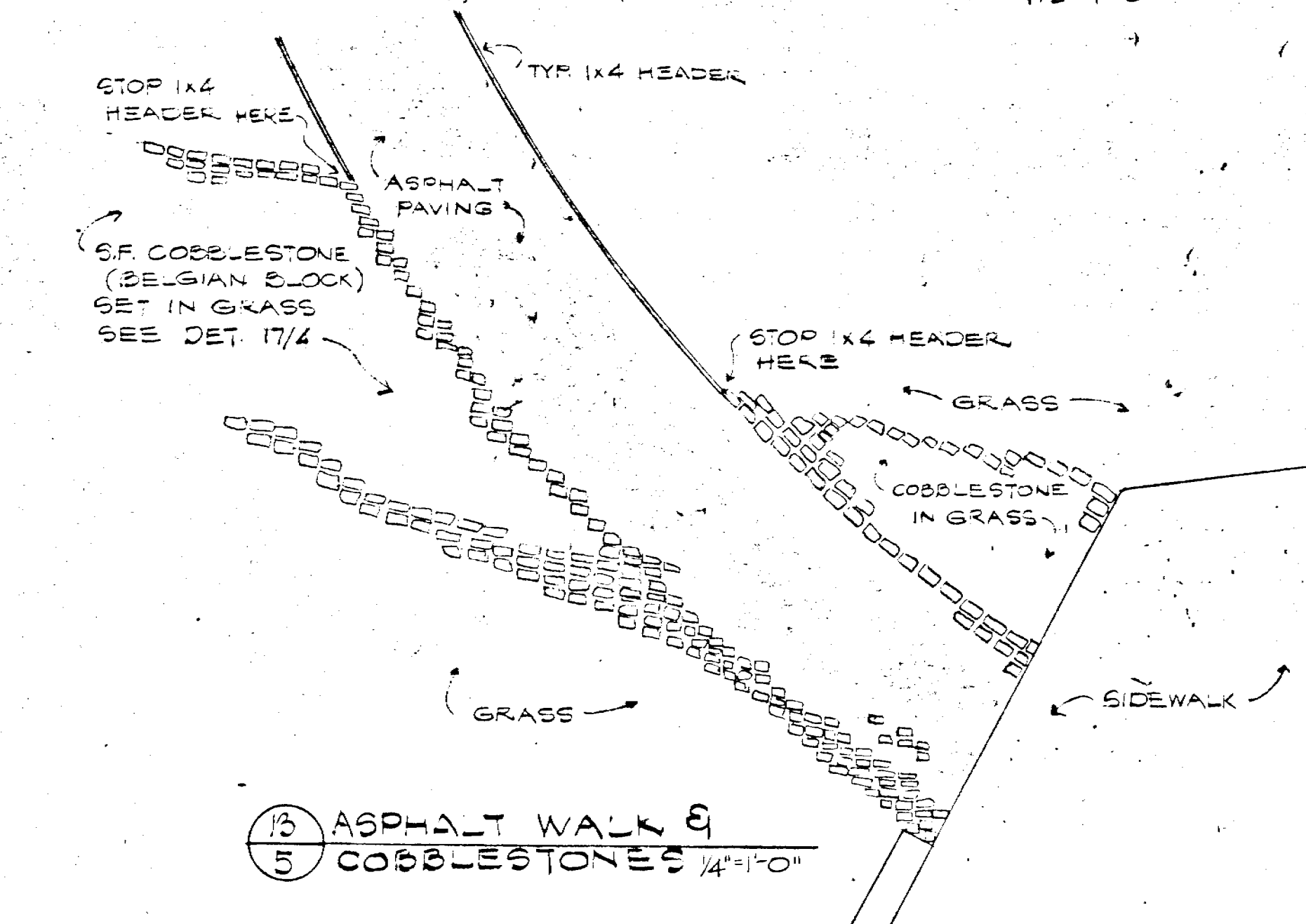
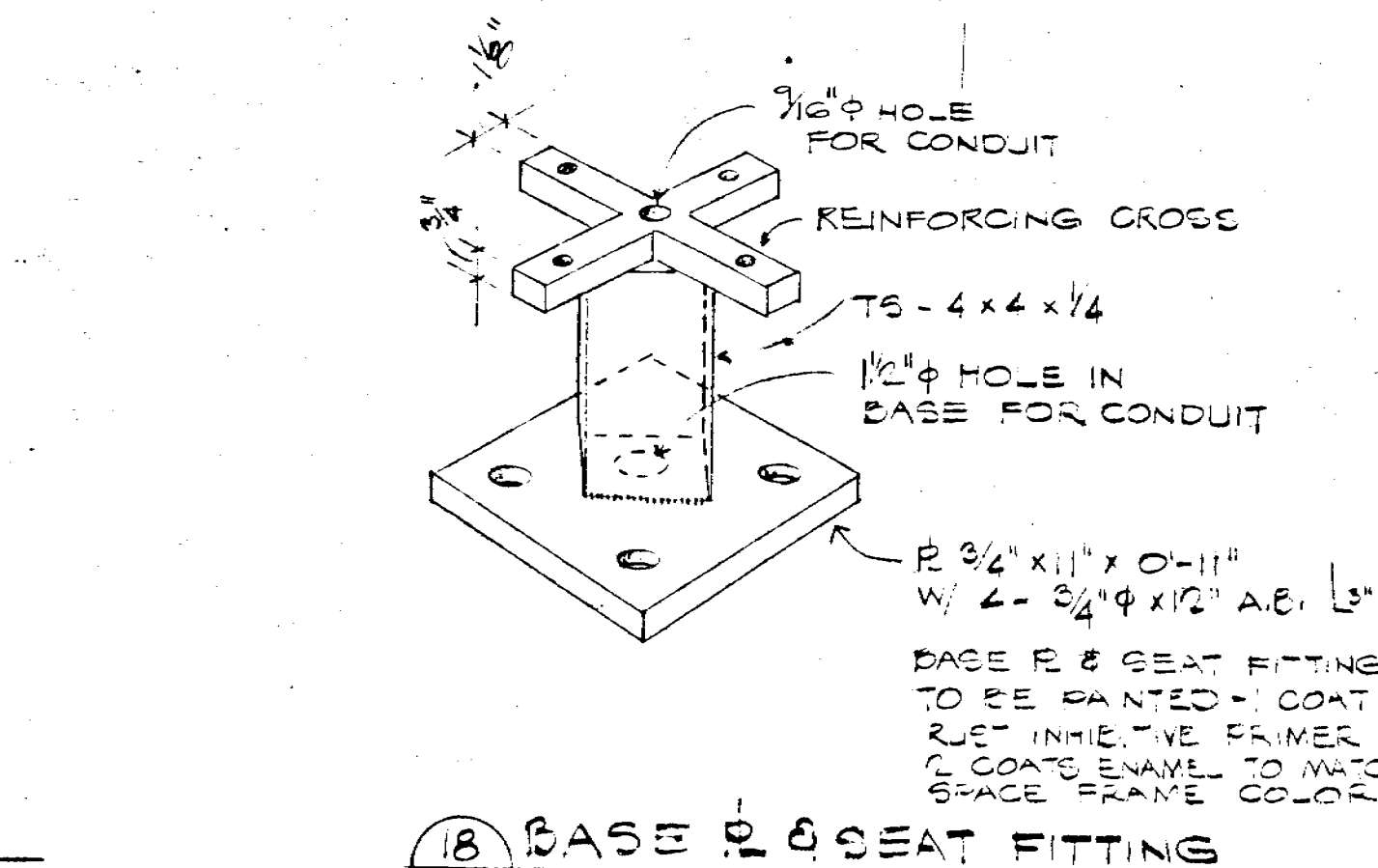
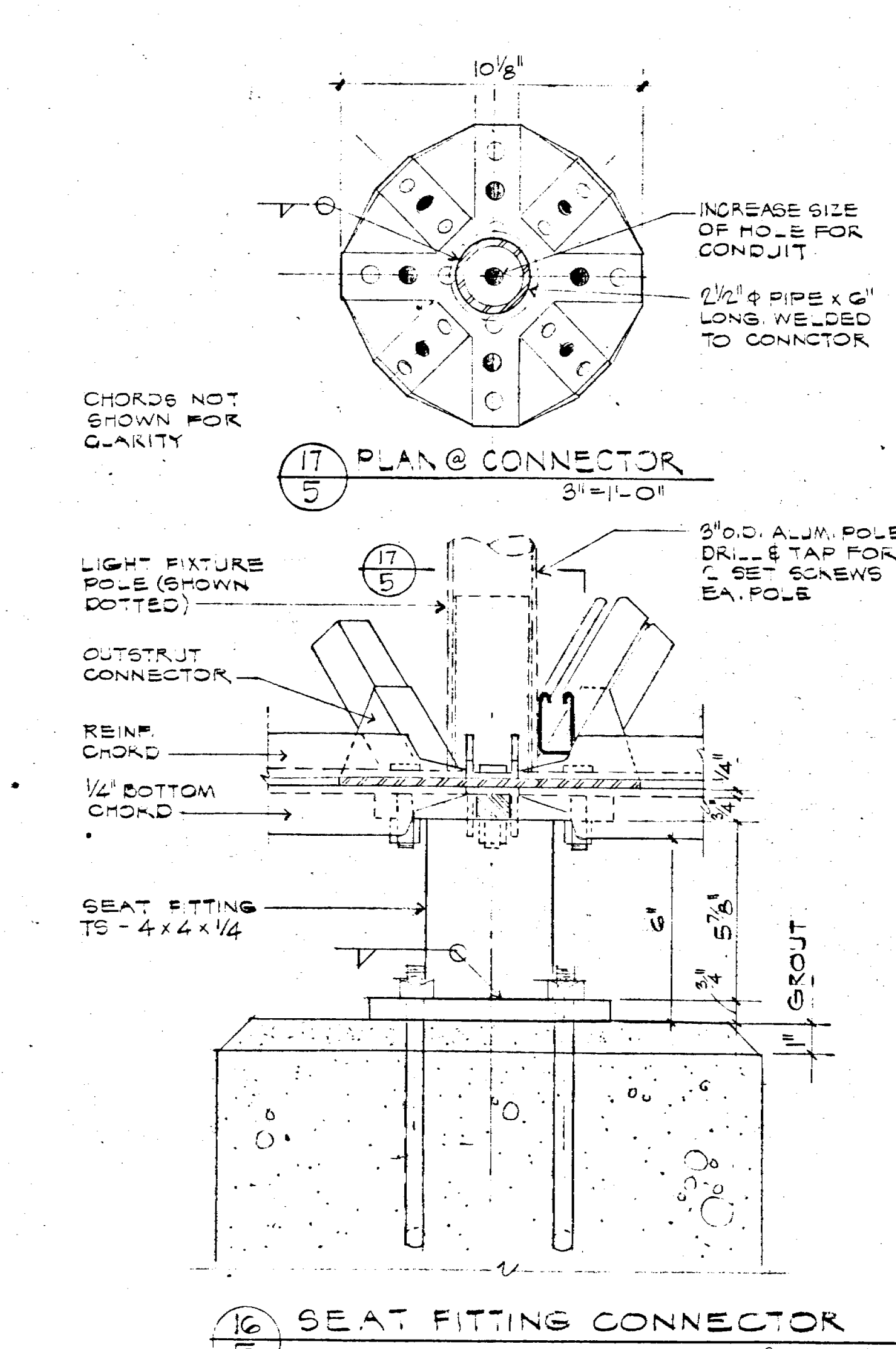
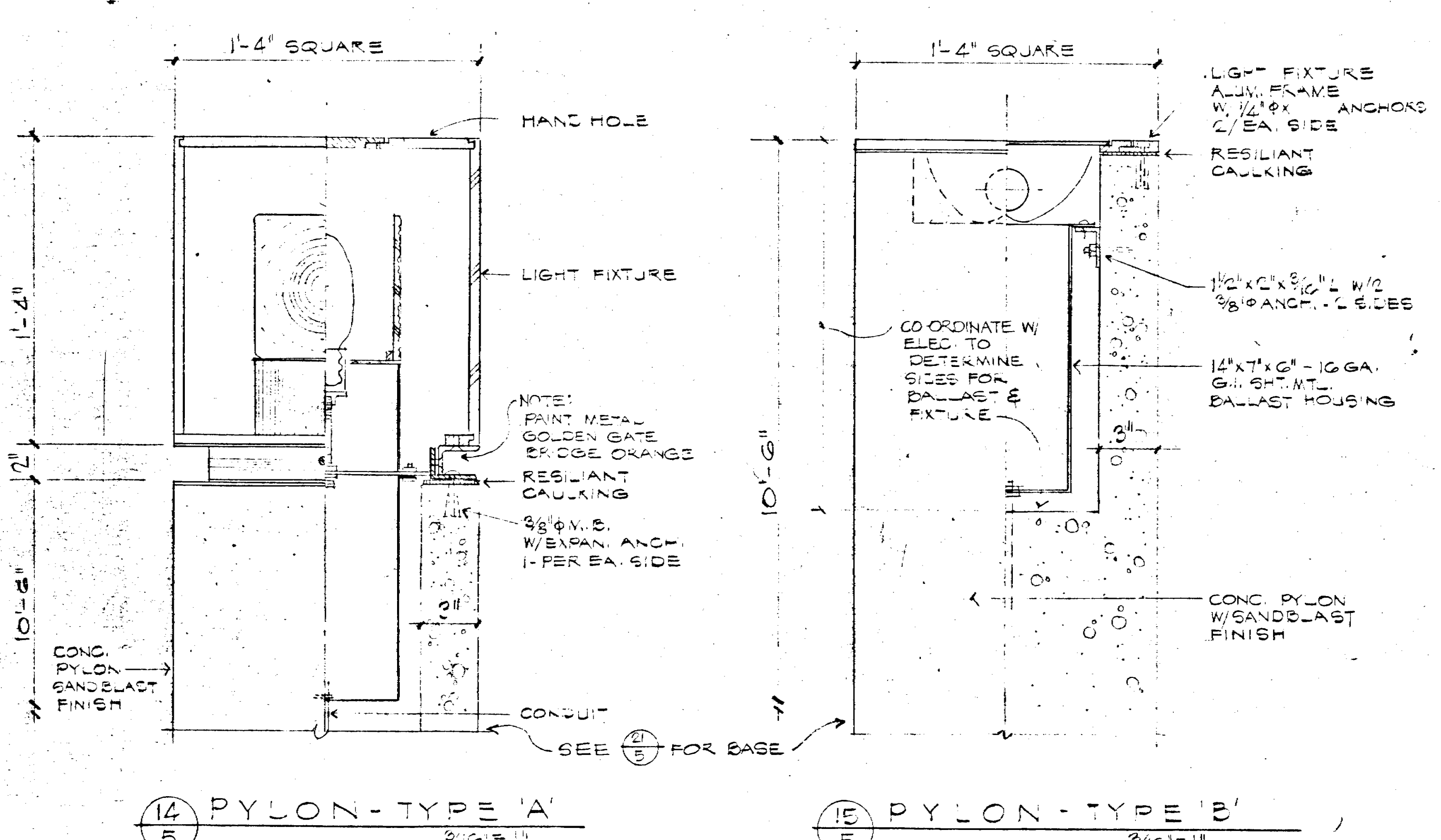
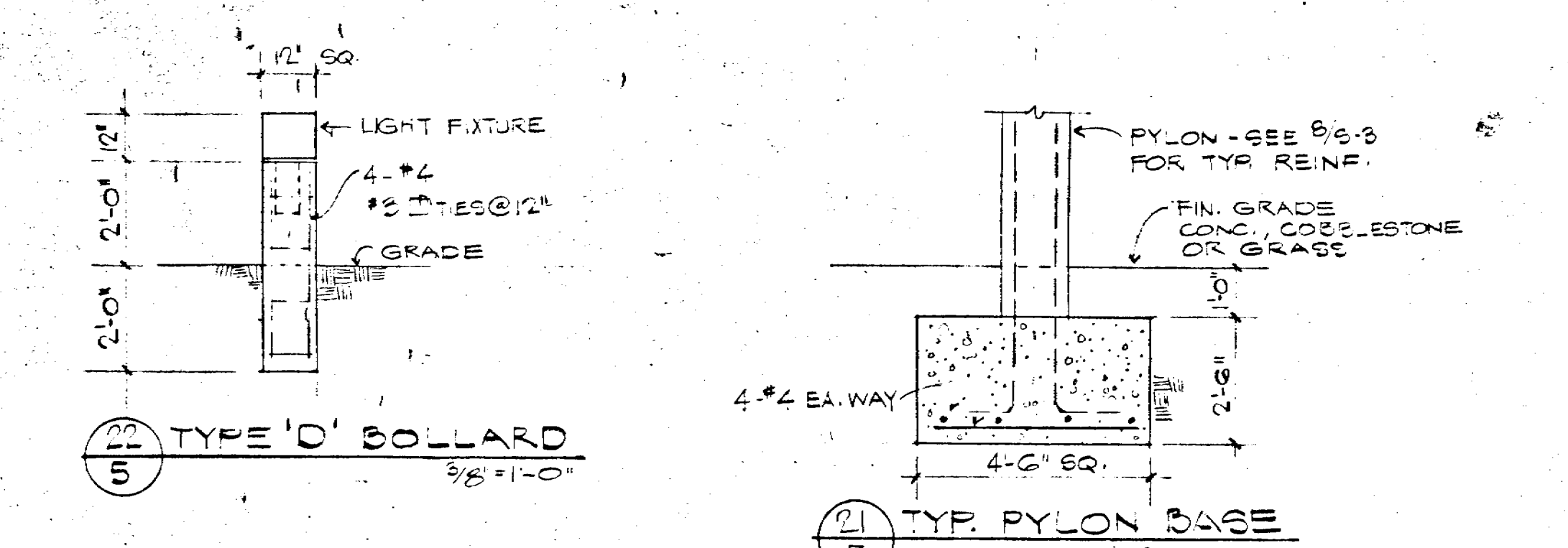
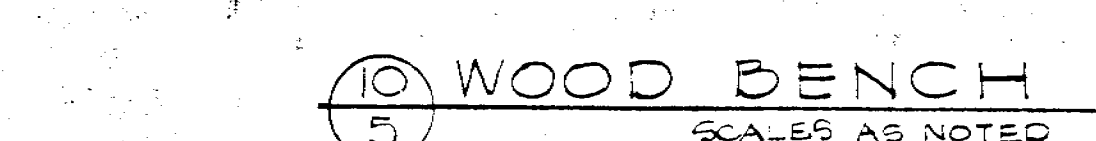
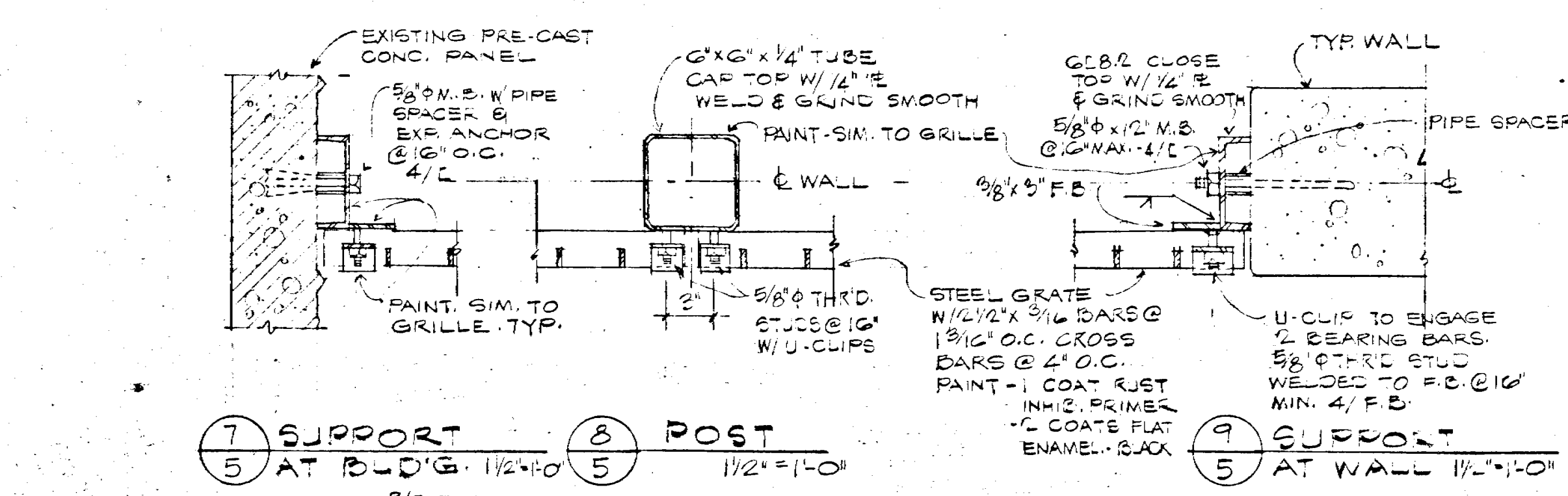
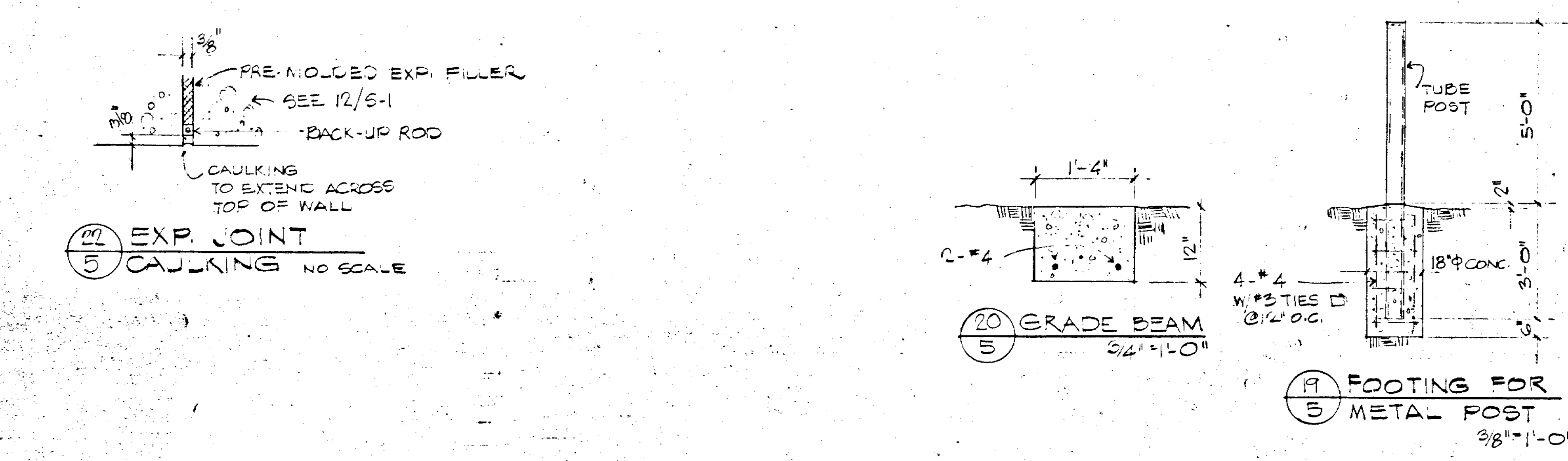
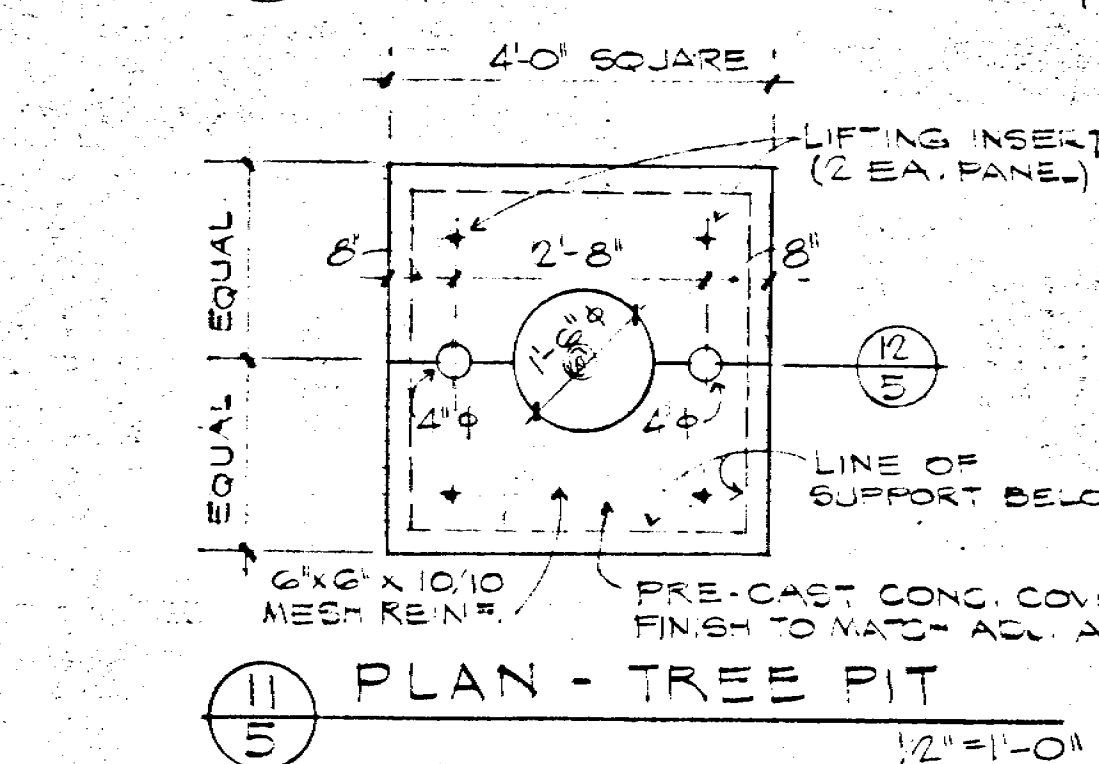
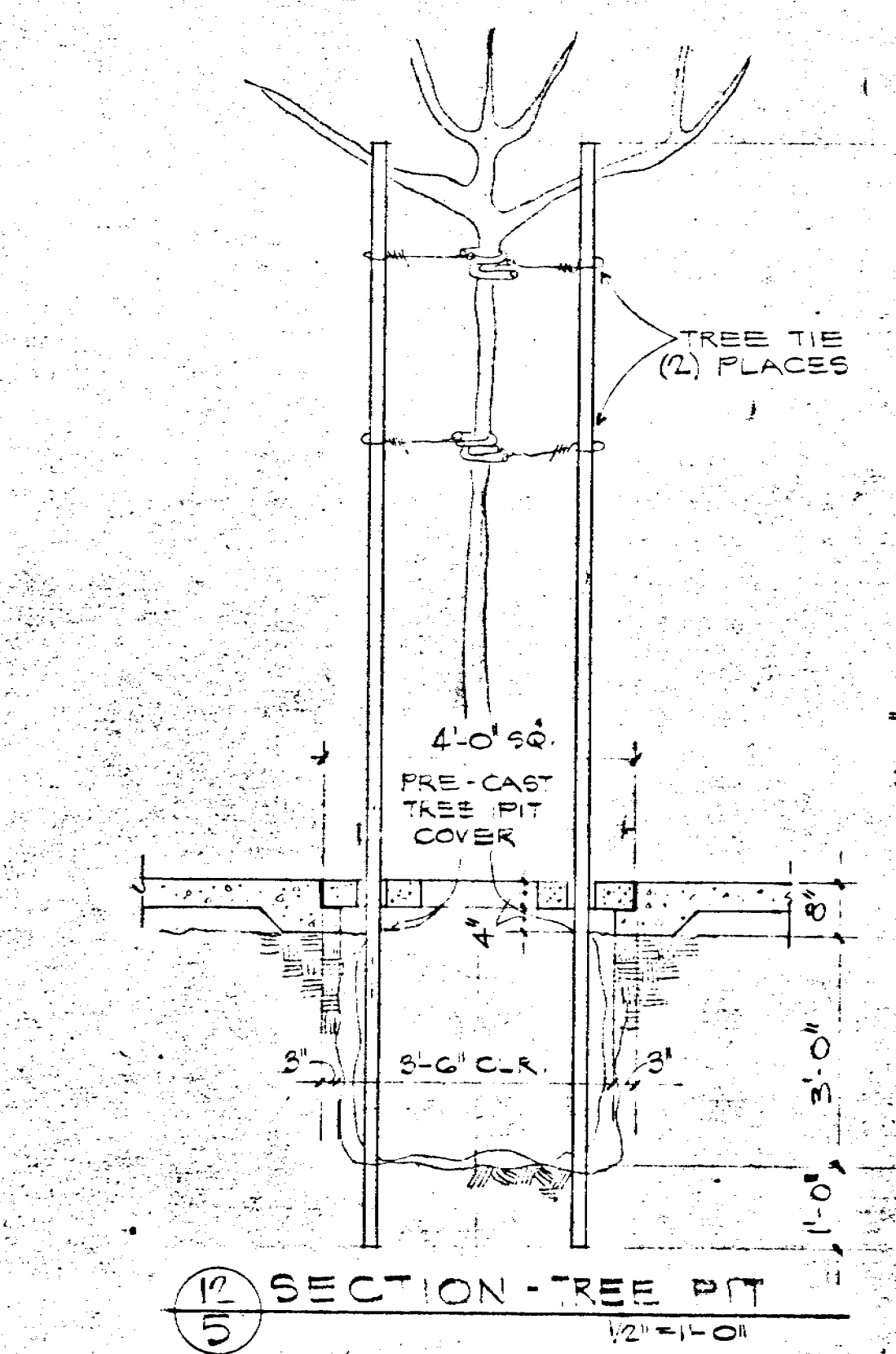
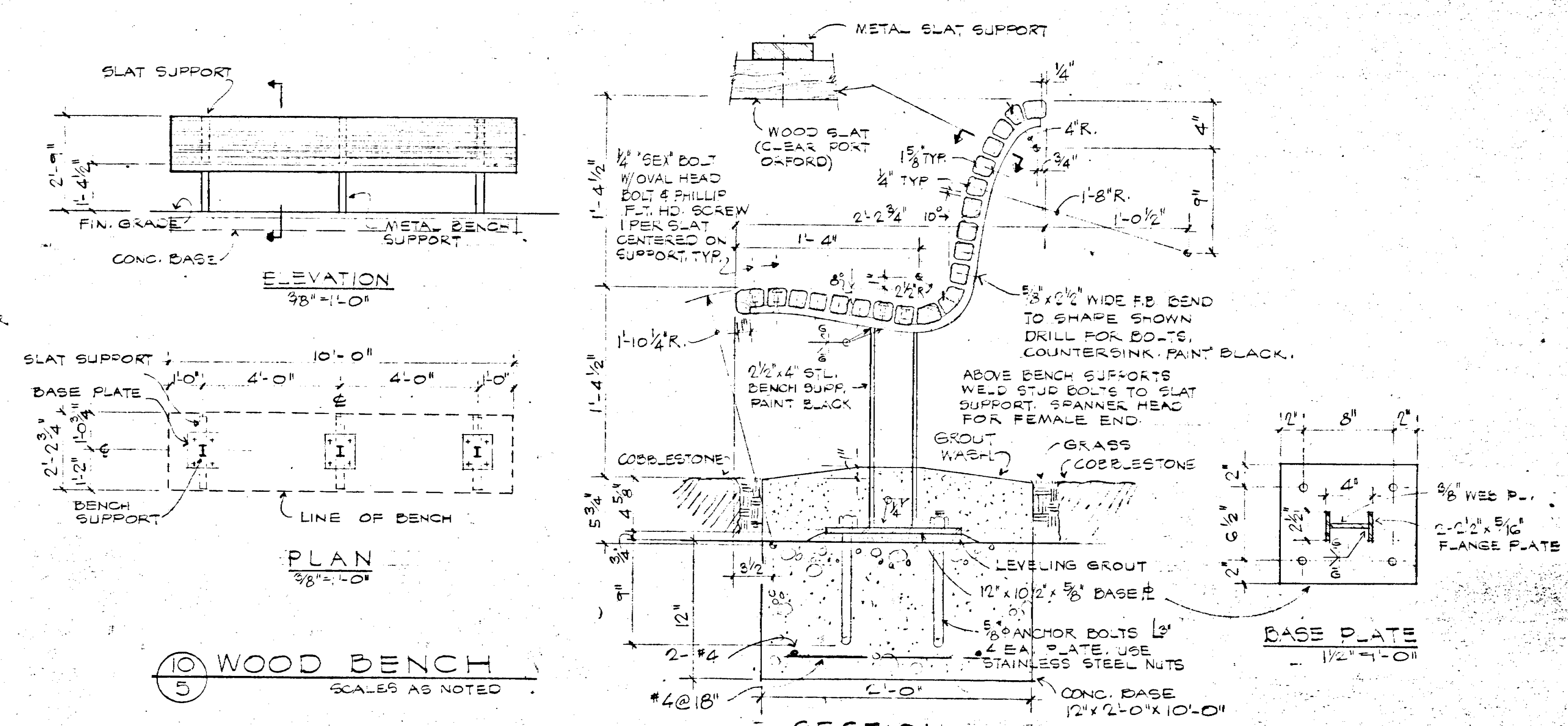
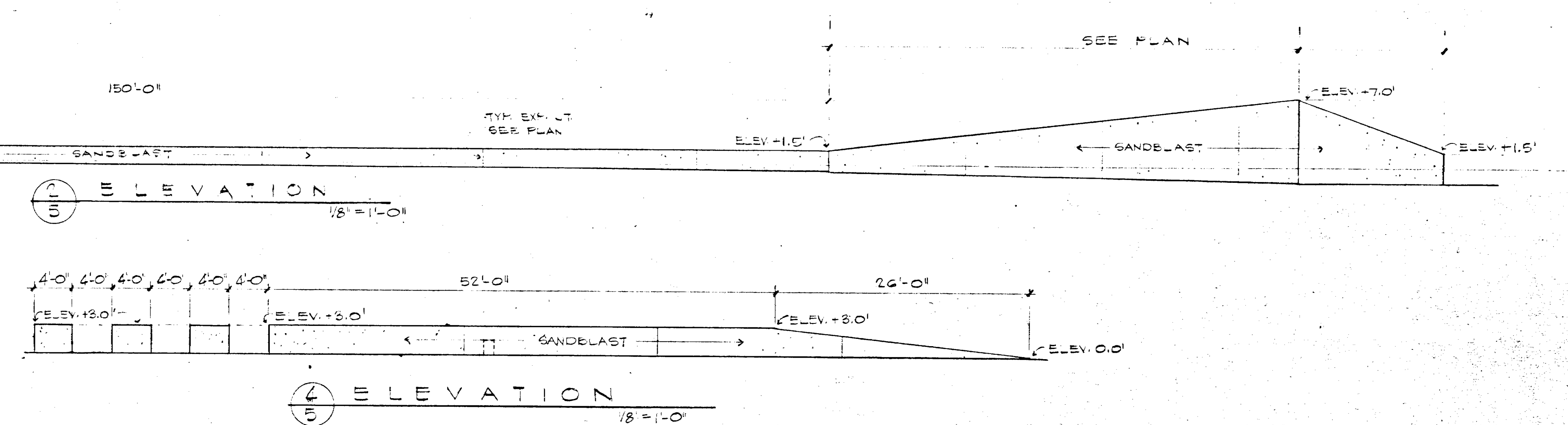
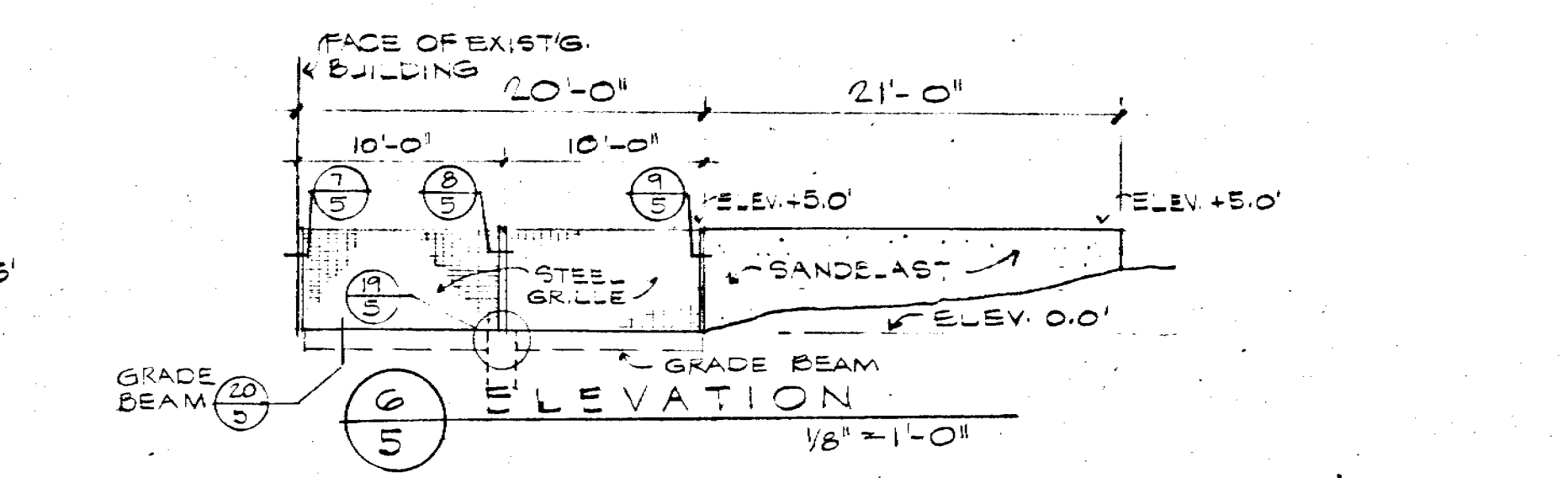
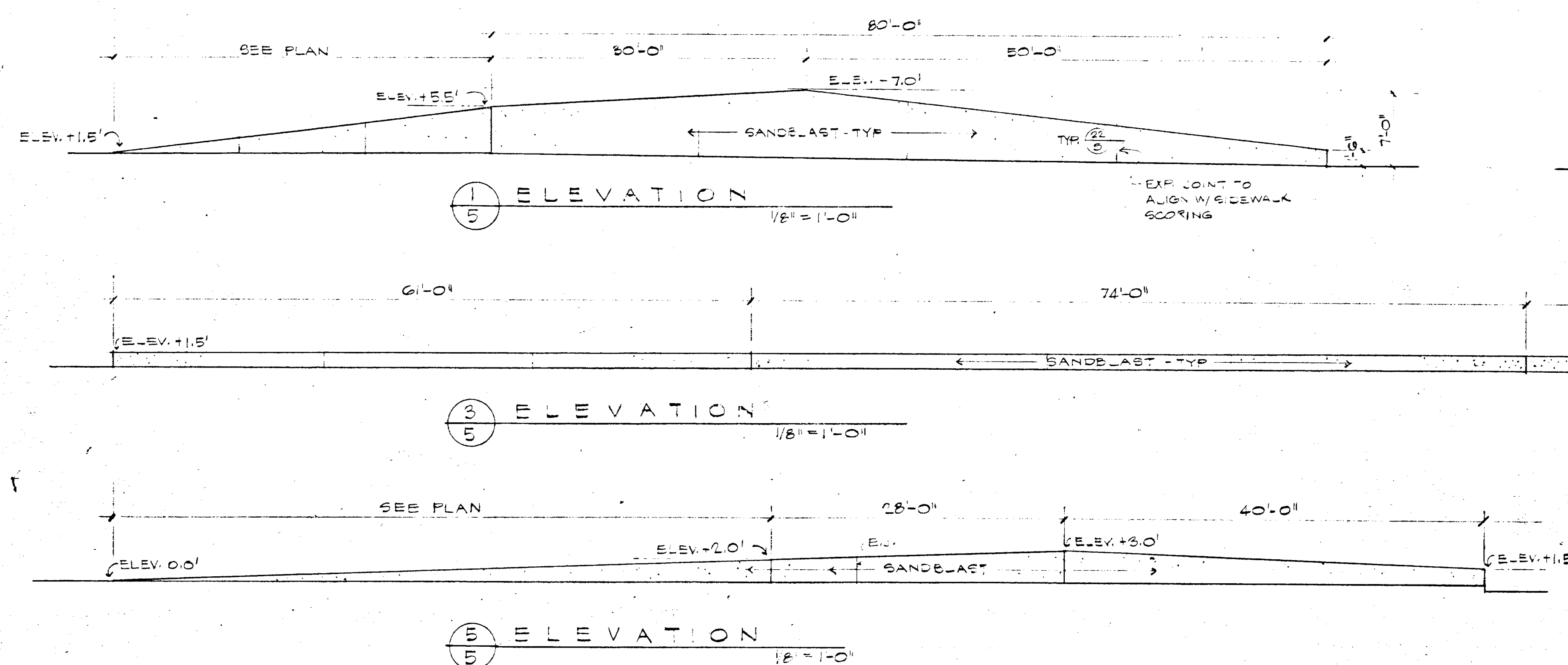
4 ADJUST EXIST'G INLET  
TO GRADE  
NO SCALE

<b>JUSTIN HERMAN PARK :: PHASE II</b> EMBAZCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1		SCALE: 1"=20' DATE: 4-24-74 DRAWN: KKB
<b>GRADING PLAN</b>		
SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS		
JOINT VENTURE ARCHITECTS : LAWRENCE HALPRIN & ASSOCIATES JOHN S. BOLLES ASSOCIATES MARIO J. CIAMPI & ASSOCIATES		
3		SHEET 3 OF 5

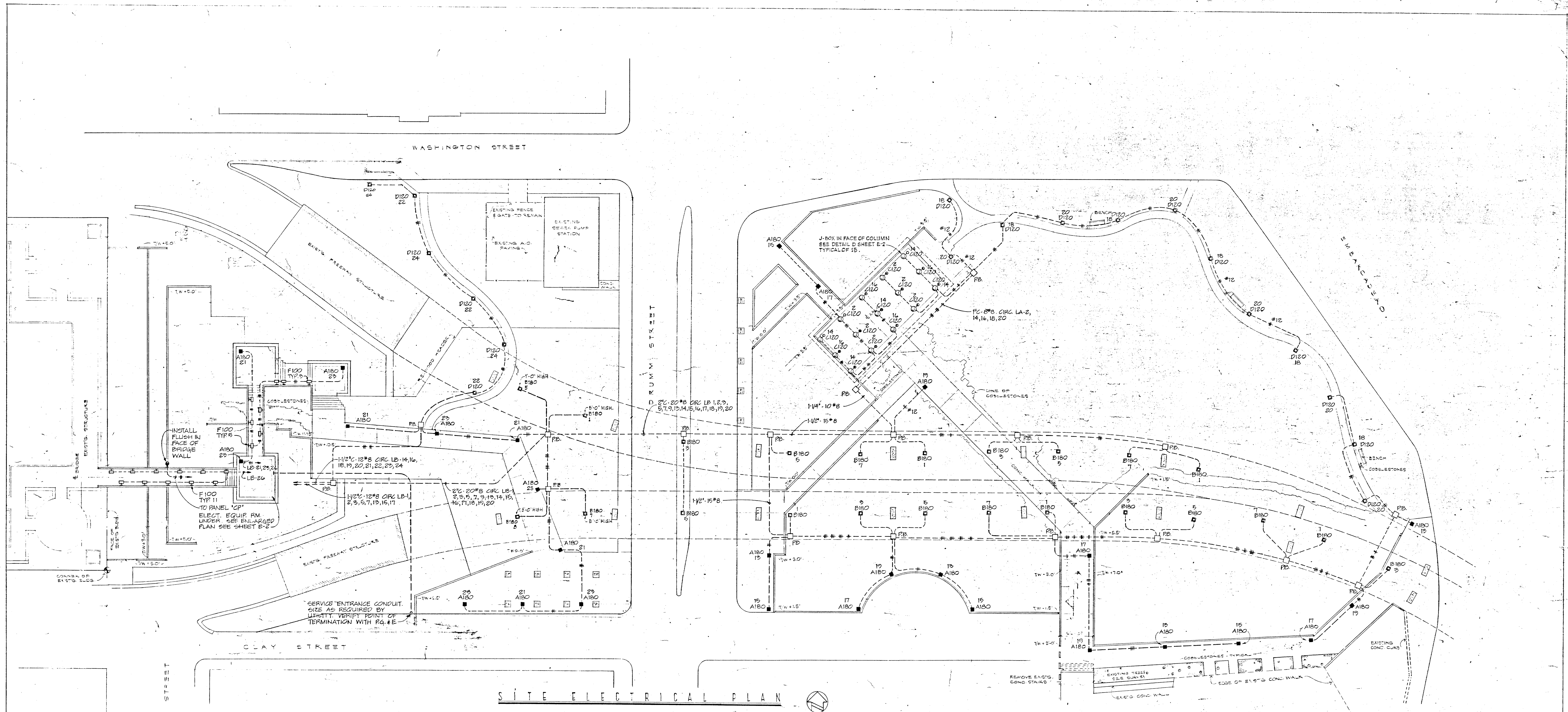












### SYMBOL LIST

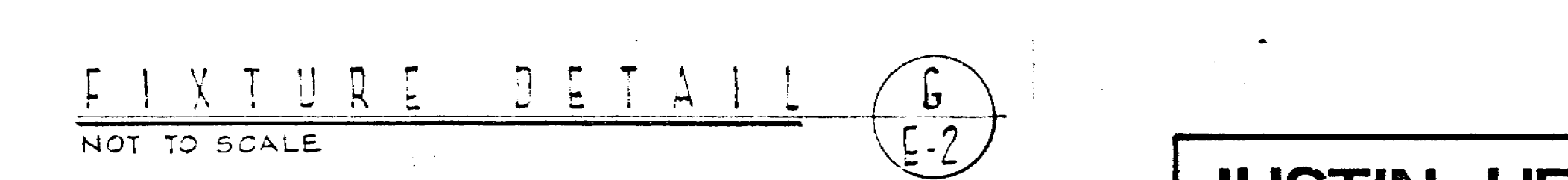
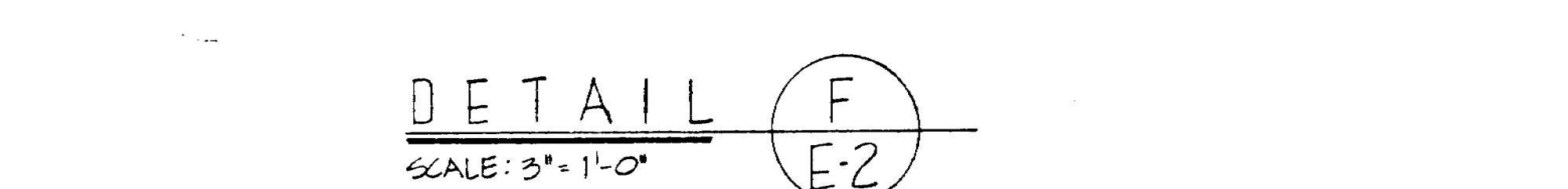
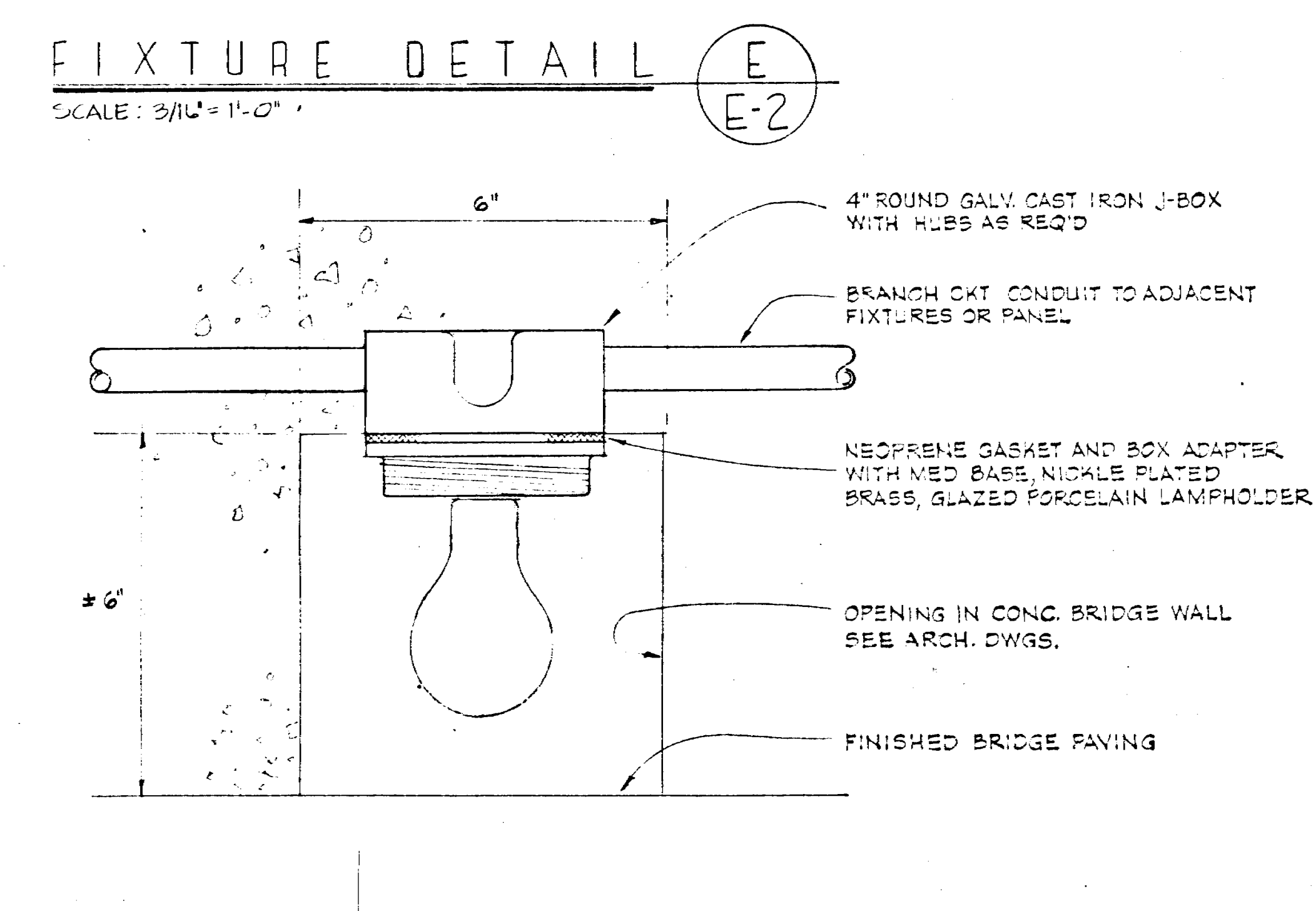
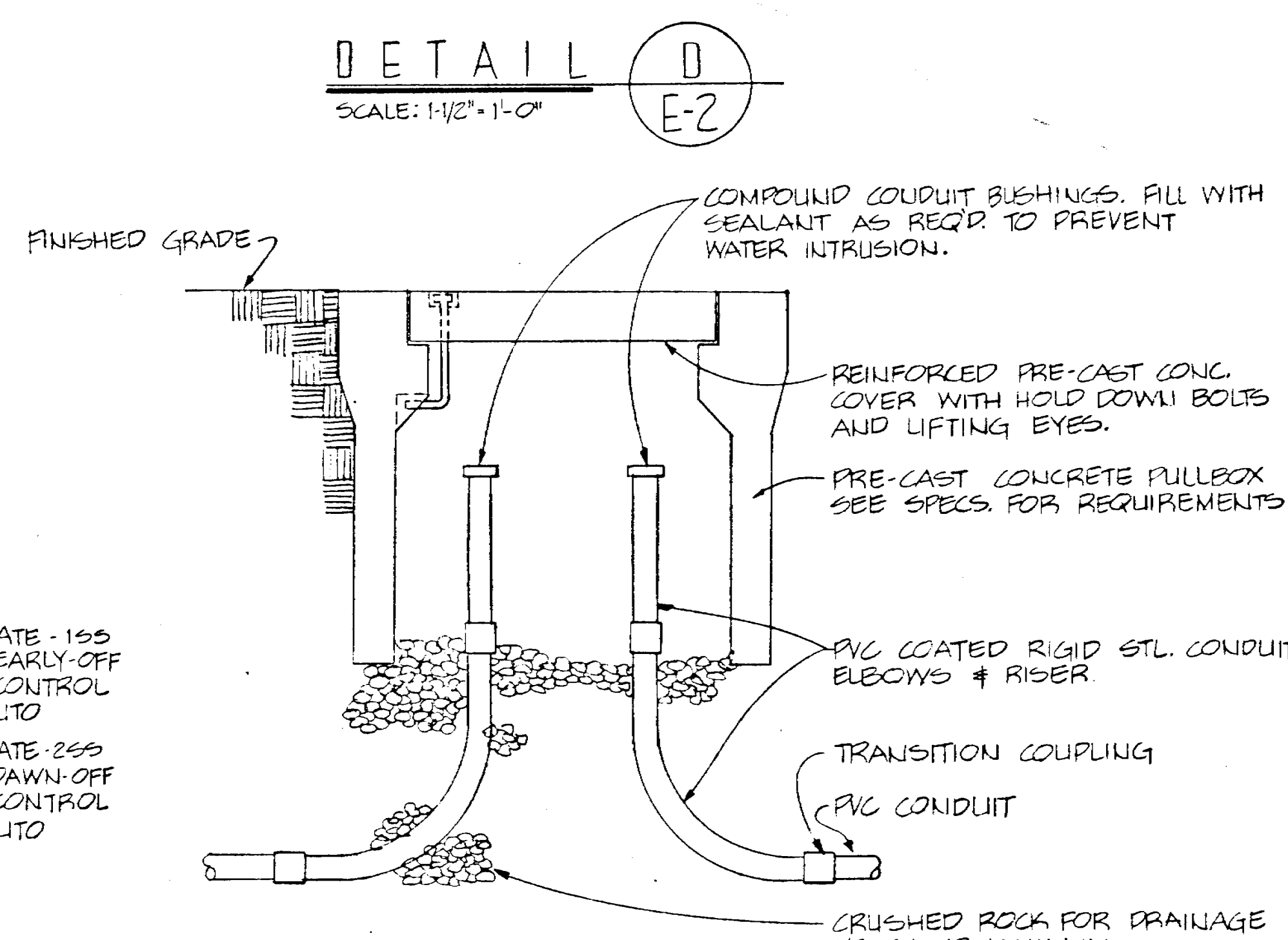
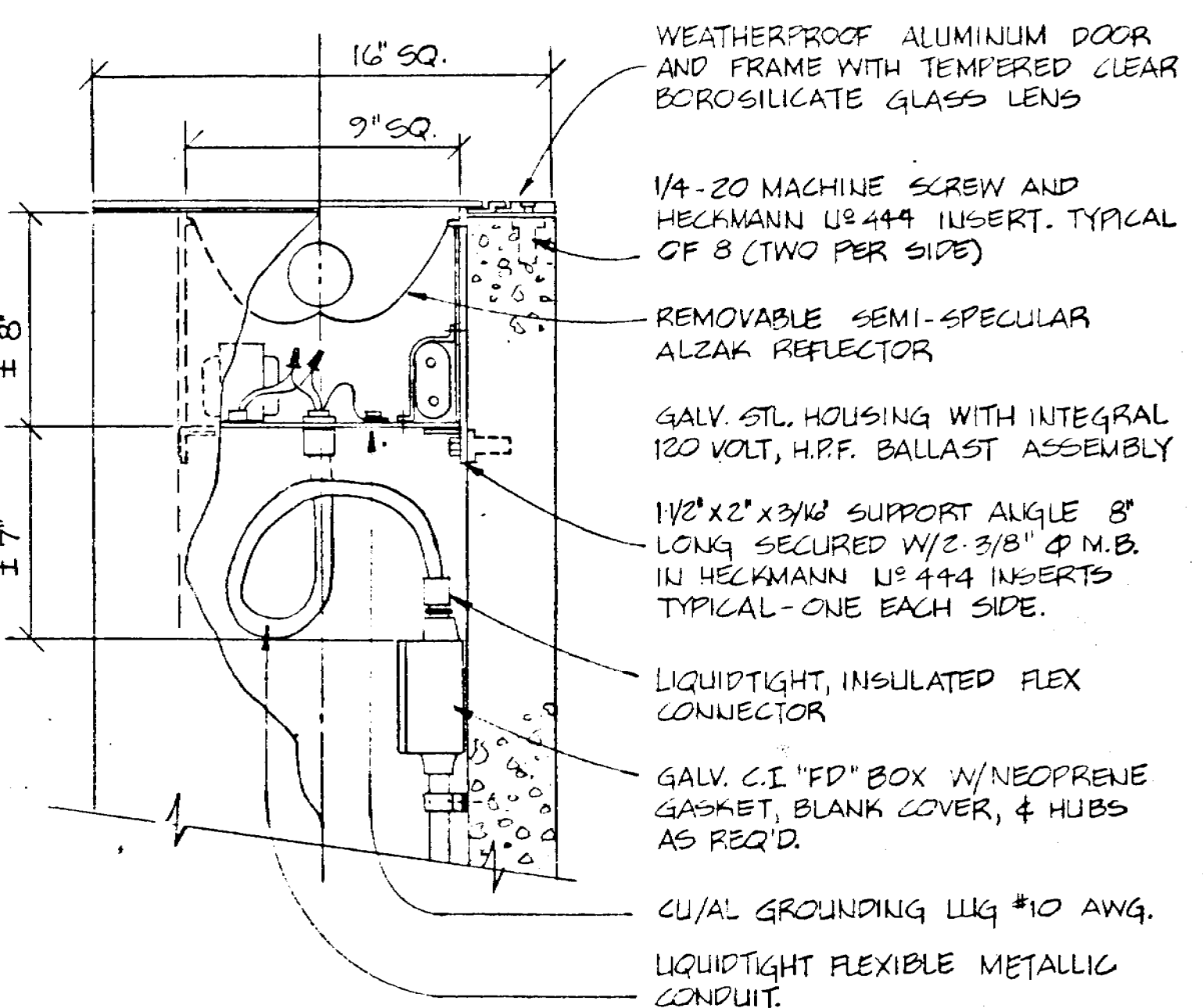
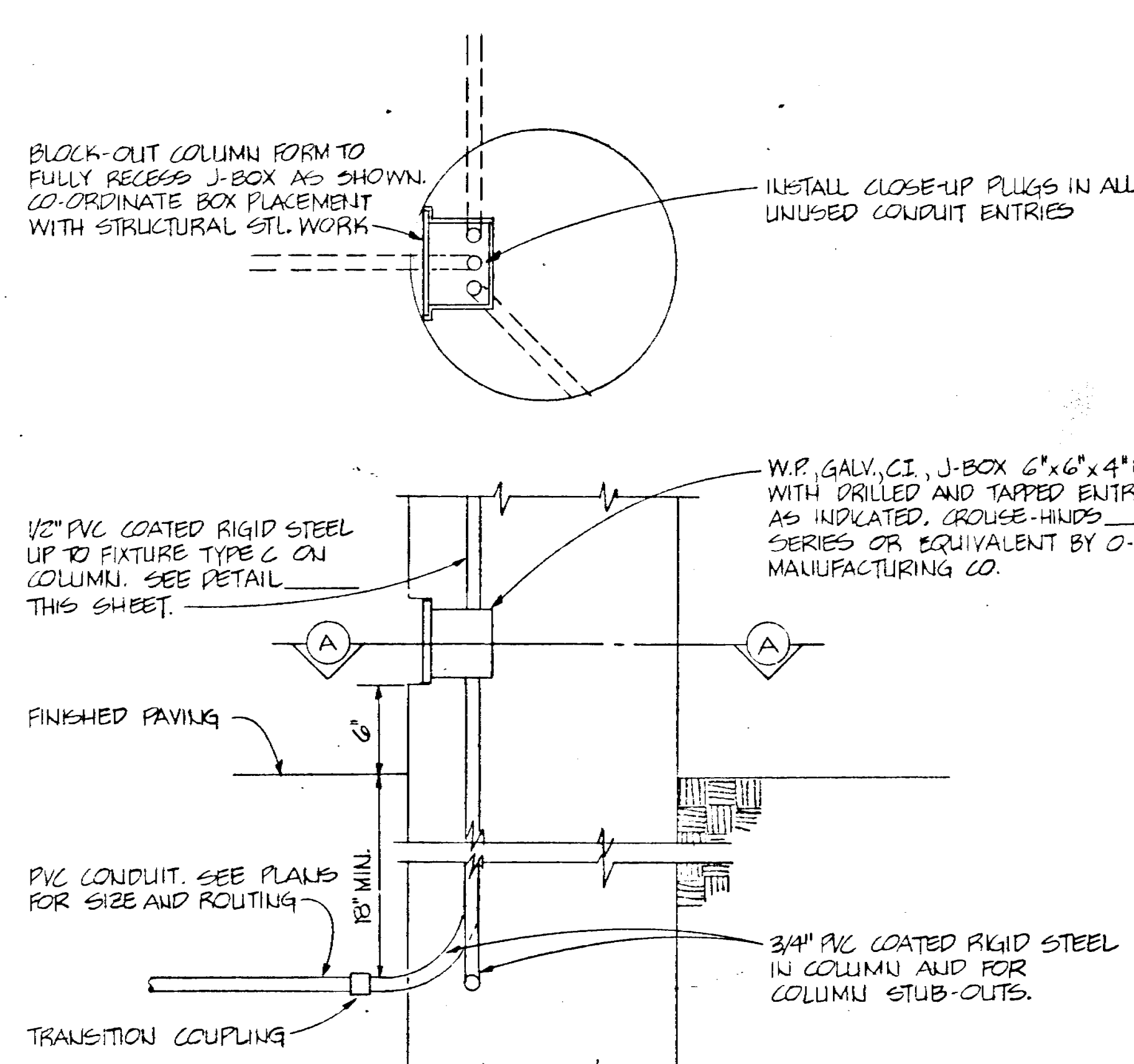
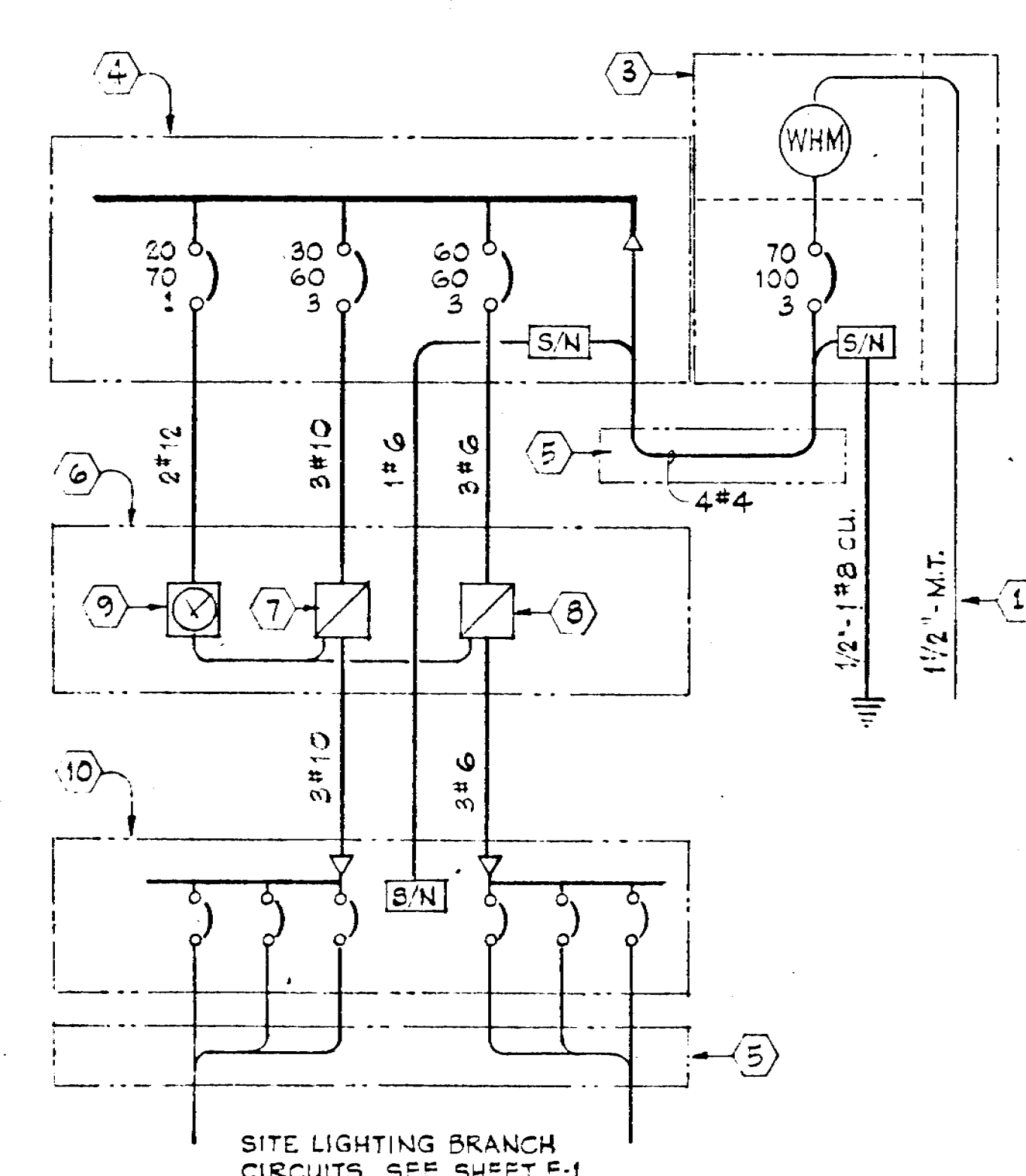
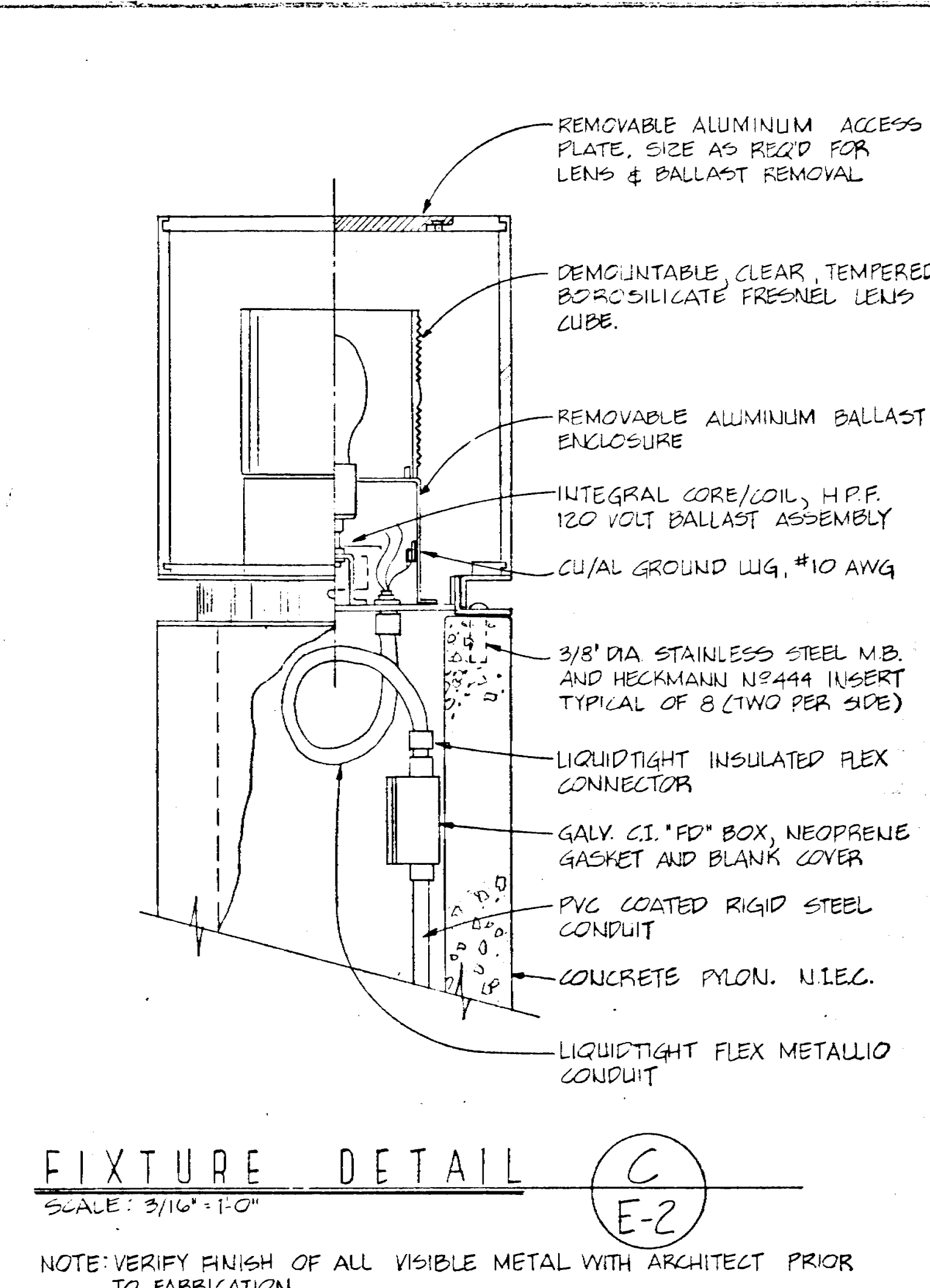
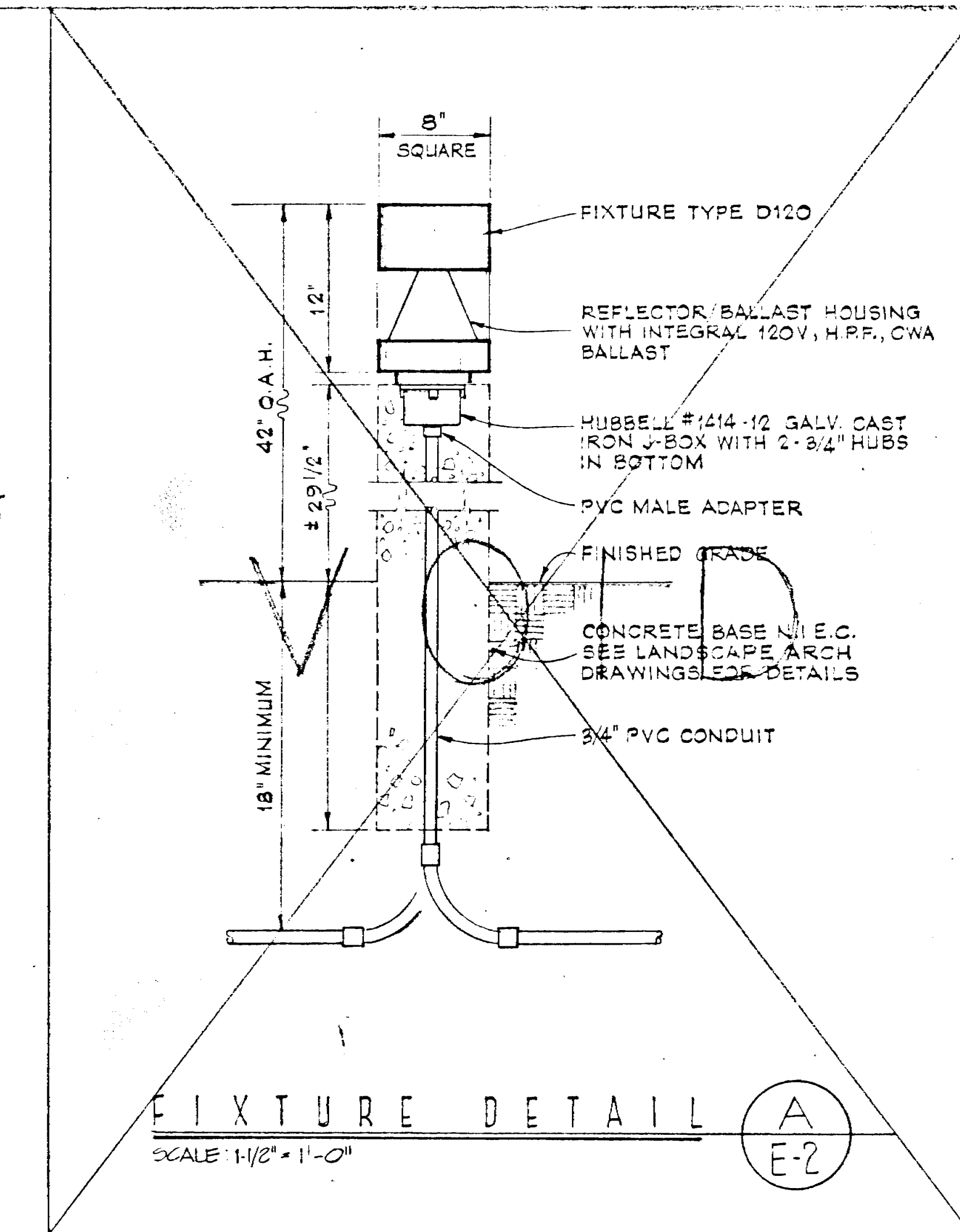
■	H.I.D. Pylon Mounted Area Light. See Detail C/E-2	—○—	Circuit Breaker
□	H.I.D. Pylon Mounted Concealed Up-Light. See Detail E/E-2	—	Conduit Homerun to Panel or Equip. Cabinet
○	H.I.D. Pipe Mounted Area Light. See Detail B/E-2	---	Conduit Run Concealed in Floor or Underground
■	H.I.D. Pedestal Mounted Bollard Light. See Detail C/E-2	---	Conduit Run Concealed in Wall or Ceiling
■	Incandescent Bare Lamp Step Light	---	Conduit Run Exposed
■	Fluorescent Lighting Fixture, Surface or Pendant	NOTE	NOTE: CROSSMARKS ON ANY CONDUIT SYMBOL INDICATES THE NUMBER OF WIRES CONTAINED IN THE RUN. NO CROSSMARKS INDICATES TWO WIRES. MINIMUM CONDUCTOR SIZE SHALL BE #10 A.W.G. UNLESS OTHERWISE NOTED.
S	Single Pole Toggle Switch, +50"	MT	EMPTY
C120	Fixture Designation: Fixture Type (C); WATTAGE (120)	NIEG.	NOT IN ELECTRICAL CONTRACT
LA-1	Branch Circuit Panel (LA); CIRCUIT N° 1	WP	WEATHER PROOF
⊙	Photoelectric Switch	HID.	HIGH INTENSITY DISCHARGE (LAMP)
⊕	Duplex Convenience Receptacle, +10" OR AS NOTED	SAD	SEE ARCHITECTURAL DRAWING
⊙	Junction Box	WHM.	WATT HOUR METER
□ PB	Pull-Box - SIZE AND TYPE AS SPECIFIED OR NOTED ON THE PLANS. SEE DETAIL F/E-2	■	MAIN SWITCHBOARD
⊙	Time Clock	■	LIGHTING OR POWER PANEL
CT	Current Transformer		

### GENERAL NOTES

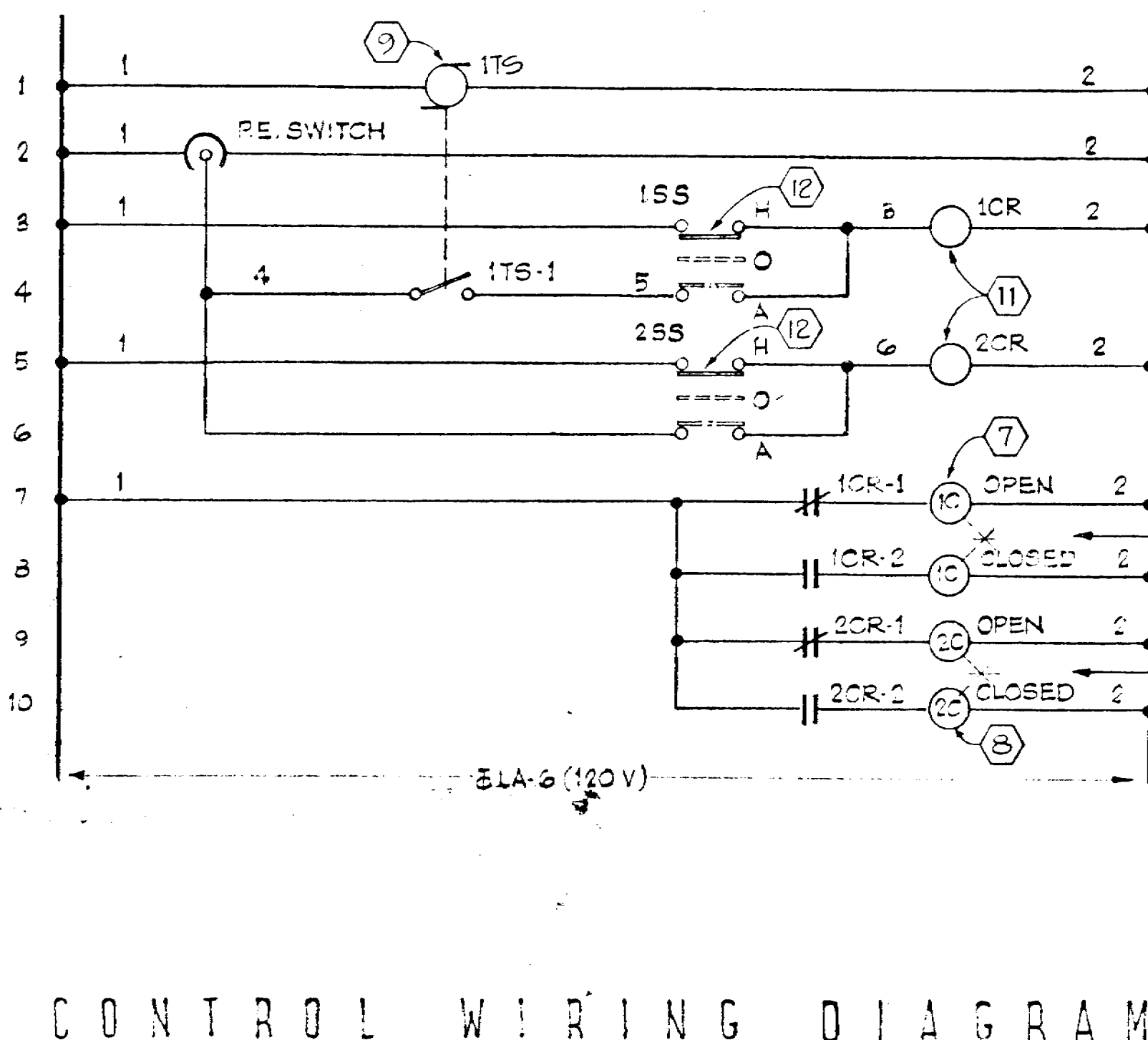
1. VERIFY EXACT LOCATION OF ALL IN-GRADE PULL-BOXES, JUNCTION BOXES AND BALLAST BOXES WITH THE ARCHITECT PRIOR TO INSTALLATION.
2. REFER TO ARCHITECT'S LOCATION PLAN FOR EXACT LOCATION OF ALL EXTERIOR LIGHTING FIXTURES.
3. CONDUIT ROUTING SHOWN IS ESSENTIALLY DIAGRAMATIC. CONTRACTOR SHALL LAYOUT RUNS TO SUIT FIELD CONDITIONS. AVOID TREE ROOT BALLS, EXISTING DRAINAGE AND ELECTRIC UTILITY LINES.
4. GROUNDING CONDUCTORS ARE NOT SHOWN. CONTRACTOR SHALL INSTALL CODE-SIZE, INSULATED, COPPER GROUND CONDUCTOR IN ALL CONDUIT RUNS.
5. THE CONTRACTOR IS ADVISED THAT NUMEROUS CATCH BASINS, DRAINAGE LINES AND ABANDONED UTILITIES EXIST WITHIN THE PROJECT BOUNDRIES. REFER TO SITE SURVEY PLAN FOR LOCATION AND NATURE OF EXISTING CONDITIONS. HAND TRENCH AND EXCAVATE AS NECESSARY TO AVOID DAMAGE TO EXISTING FACILITIES. REPAIR OR REPLACE FACILITIES DAMAGED IN THE EXECUTION OF THIS WORK TO THE COMPLETE SATISFACTION OF THE OWNER.

<b>JUSTIN HERMAN PARK :: PHASE II</b> EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1		SCALE: 1"=20' DATE: 4-24-14 DRAWN: D.D.
<b>ELECTRICAL PLAN</b>		
SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS		
JOINT VENTURE ARCHITECTS: LAWRENCE HALPRIN & ASSOCIATES JOHN S. BOLLES ASSOCIATES MARIO J. CIAMPI & ASSOCIATES		
E-1		SHEET 1 OF 2

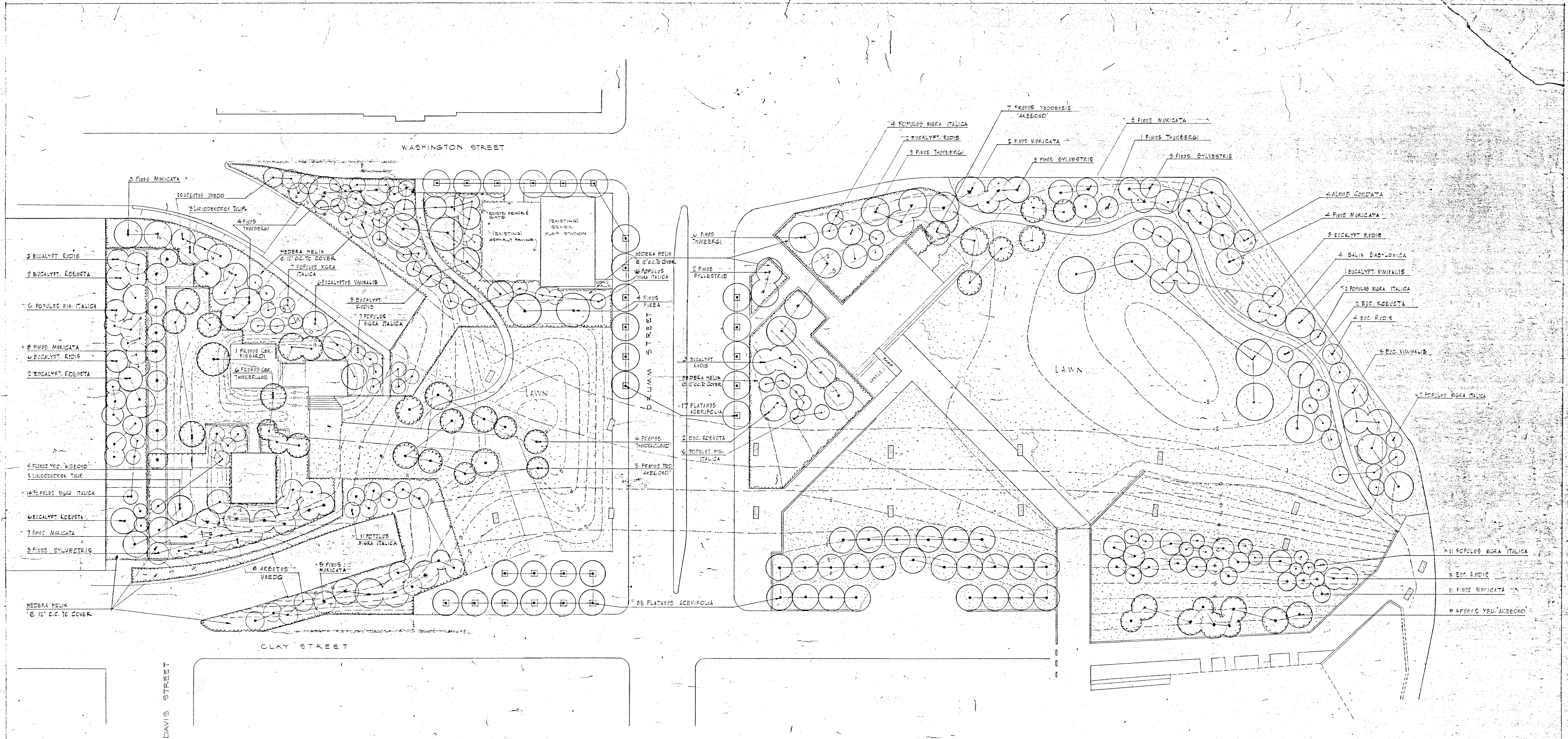




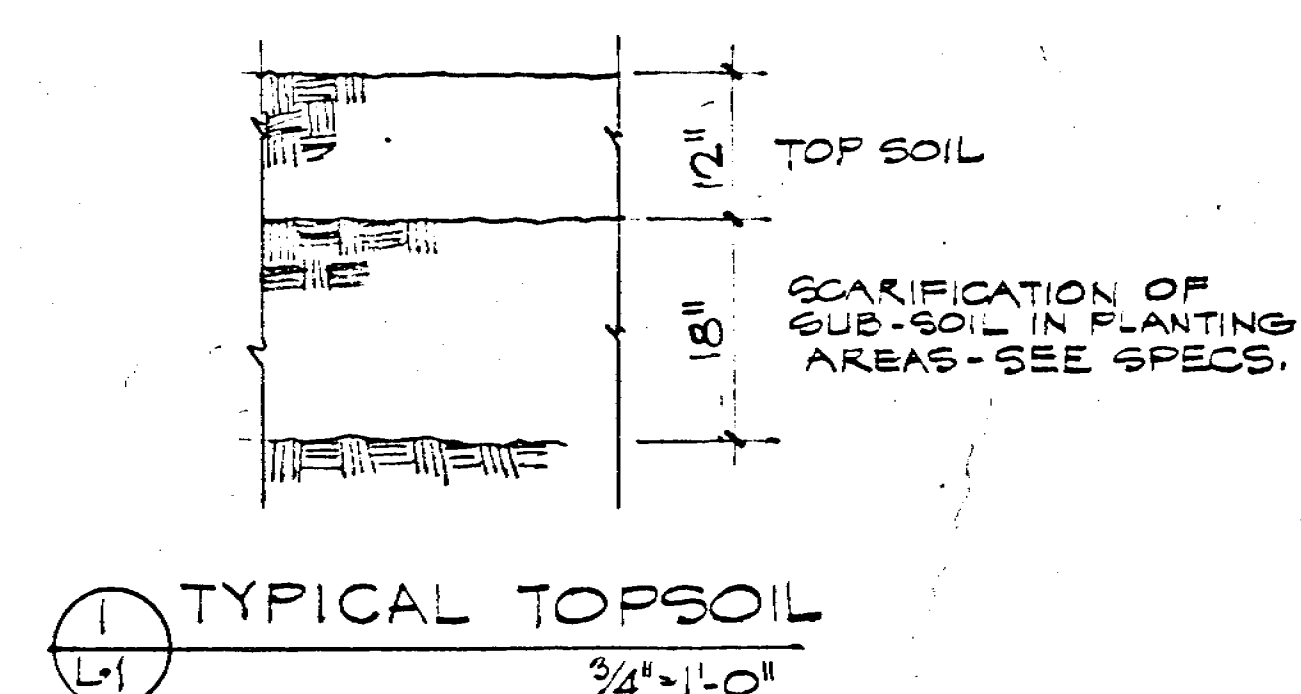
- (1) RIGID STEEL WELDED ELBOW AND CONDUIT RISER. VERIFY SIZE OF SERVICE ENTRANCE CONDUIT WITH P. 8-5.
- (2) WATERTIGHT CONDUIT FLOOR SEAL. SEE SPECS FOR REQUIREMENTS.
- (3) P.O.E. APPROVED COMBINATION METER SOCKET UNDERGROUND FULL SECTION MAIN DISCONNECT FOR 160/300V/1-2-3-4 W/V SERVICE. SEE SPECS FOR CIRCUIT BREAKER REQUIREMENTS. INTERRUPTING CAPACITY SHALL BE 10,000 A. BYM. MIN @ 240V.A.C.
- (4) PANEL L.A. SEE PANEL SCHEDULE FOR DETAILS.
- (5) 4"x4" HINGED COVER, SCREW RETAINED. N.E.M.A. 1. PAINTED STEEL WIREWAY. SQUARE D. L-4 SERIES OR EQUIVALENT BY CIRCLE AW OR KEYSTONE
- (6) 30"x30"x6"D. N.E.M.A. 1 EQUIPMENT CABINET WITH HINGED DOOR. 1/2" THICK DOCK AND LOCK MOUNTING BACKBOARD. SQUARE D CO. OR EQUIVALENT BY CIRCLE AW OR KEYSTONE. CONTROL PANEL CP
- (7) LTG. CONTACTOR "1" 35AMP-3-PH.N.C. MECHANICALLY HELD. ELECT. OPERATED. 120V-VOLTS OPERATING COIL. SWITCH UNIT ONLY.
- (8) LTG. CONTACTOR "2" 60AMP-3-PH.N.C. (AS DESCRIBED ABOVE)
- (9) TIME SWITCH "1"5" 5-D.T. CONTACTS RATED 40AMP @ 277 VOLT. 24-VOLTS DIAL. DAY/NOTICE DEVICE AND RESERVE POWER SPRING. SEE SPECS FOR ADDITIONAL REQUIREMENTS
- (10) PANEL L.B. BUILT BUS WITH 100AMP MAIN LUGS TOP AND BOTTOM. SEE PANEL SCHEDULE # ONE LINE DIAGRAM FOR ADDITIONAL REQUIREMENTS
- (11) CONTROL RELAYS "1"CR-2 CR-1. IN 0.5 PH CONTACT RATED 10A @ 120V-125V 1-2-3-4 W/V. 120V-125V OPERATING COIL. SQUARE D CO. CLASS 8901, TYPE 10-3 OR EQUIVALENT.
- (12) BY-PASS SWITCHES. PROVIDE 1/2" x 3" ENGRAVED NAMEPLATE READING "LIGHTING CONTROLS". 2 POSITION SELECTOR SWITCHES SHALL BE 30D CO. IN-400-60-430-KA-1 OR EQUIVALENT. SEE SPECS FOR WIRING.





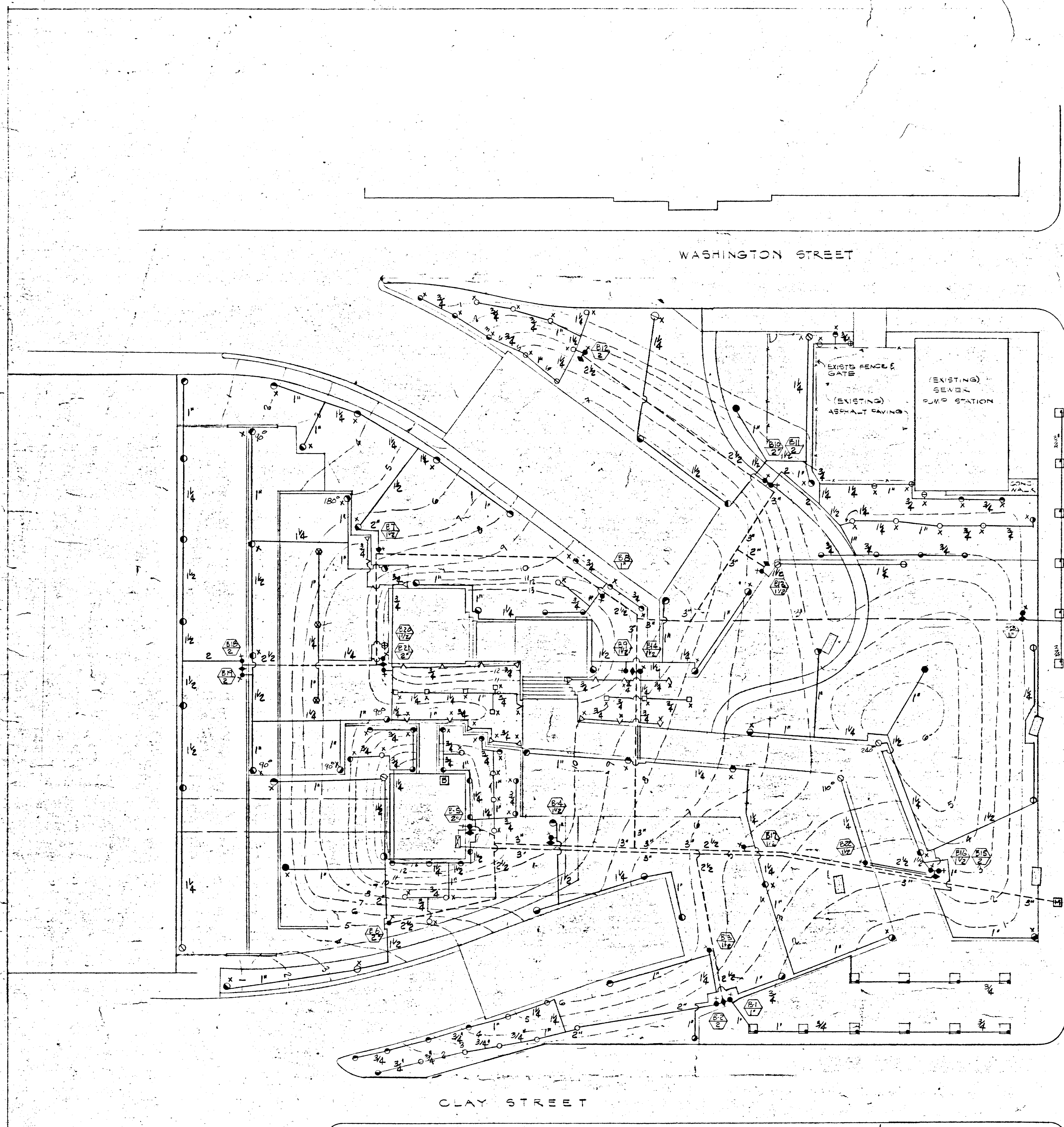


- NOTES:
1. FOR EXISTING GRADE ELEVATIONS SEE SURVEY SHT. 1
  2. FOR DIMENSIONS, INFORMATION AND NOTES NOT SHOWN OR INDICATED SEE SHT. 2
  3. VERIFY EXACT LOCATION, NUMBER AND TYPE OF CATCHBASIN RIMS WITH COVERS THAT ARE REQUIRED TO BE RAISED TO NEW ELEVATIONS WITH THE UTILITY COMPANIES AND/OR SERVICE DEPARTMENTS INVOLVED.

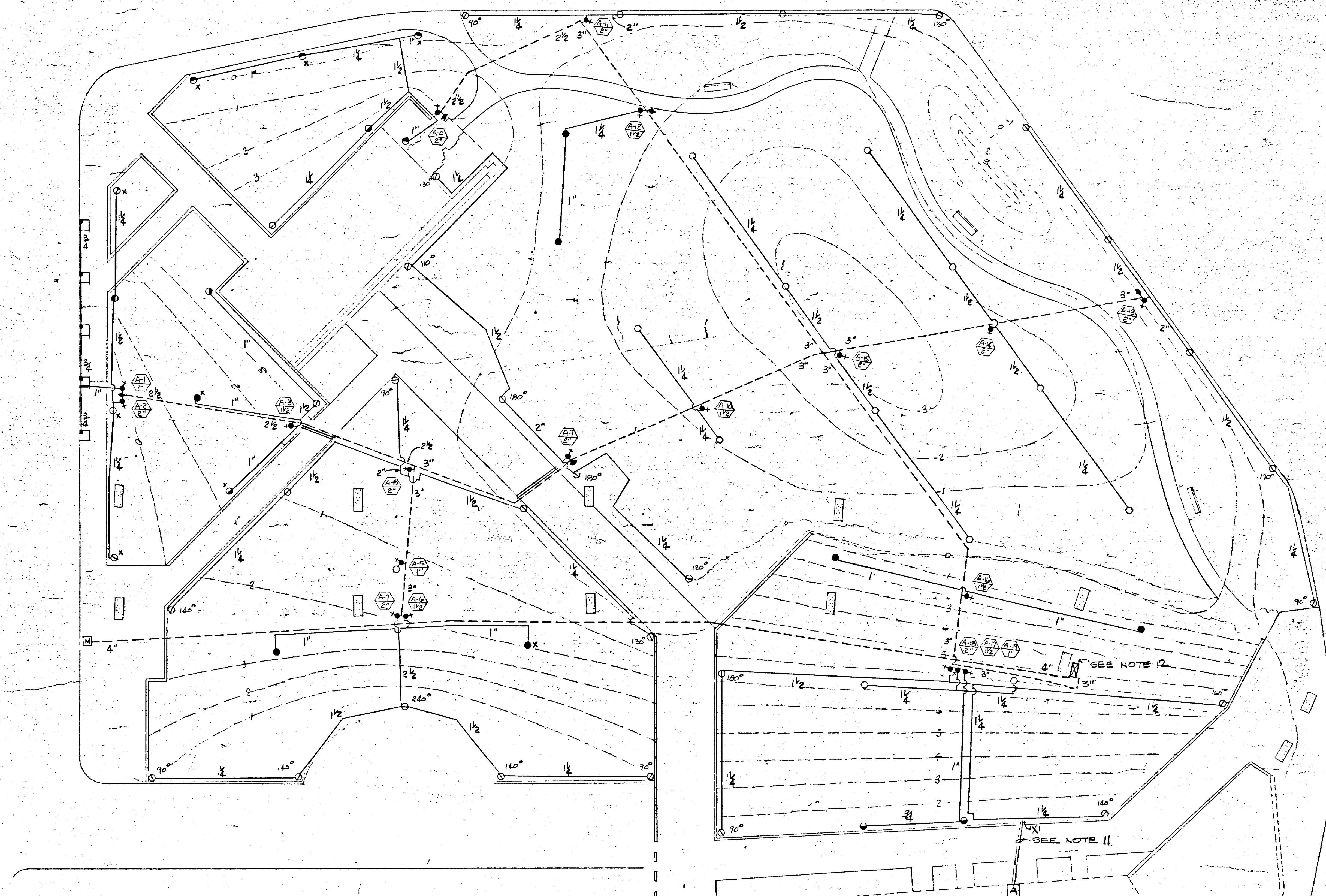


<b>JUSTIN HERMAN PARK :: PHASE II</b>		SCALE: 1"=20'
EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1		DATE:
<b>PLANTING PLAN</b>		DRAWN:
SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS		
JOINT VENTURE ARCHITECTS: LAWRENCE HALPRIN & ASSOCIATES JOHN S. BOLLES ASSOCIATES MARIO J. CIAMPI & ASSOCIATES		
		<b>L-1</b> SHEET 1 OF 2





DRUMM STREET



# LEGEND

SYMBOL	CATALOG NO.	MANUFACTURER	ITEM
•	401-Q	BUCKNER	SPIDER BUBBLE
•	27310-H	HAYS	6" POP-UP SHRUB SPRAY
•	2711-71-72-74	HAYS	SHRUB SPRAY
▽	27300-H-F	HAYS	2" POP-UP LAWN SPRAY
○	624-00-26	TORO	TURF SPRINKLER
○	644-02-43	TORO	TURF SPRINKLER SPECIAL ARCS
○	622-00-25	TORO	TURF SPRINKLER ARE INDICATED
○	642-02-43	TORO	IMPACT SPRINKLER
○	25-B P-ADL	RAINBIRD	IMPACT SPRINKLER
○	35-B P-ADL	RAINBIRD	IMPACT SPRINKLER
○	65-B P-ADL	RAINBIRD	IMPACT SPRINKLER
•	3LT [B&T TURF]	BUCKNER	QUICK COUPLING VALVE
•	1200 SERIES	HYDRO-PAN	REMOTE CONTROL VALVE
•	2000 SERIES	GRISWOLD	REMOTE CONTROL VALVE
•	710-3" ASSY	FEBCO	BACK FLOW PREVENTER
•	415-SUB	GEE	CHECK VALVE FOR 1/2" HEADS
•	300	BUCKNER	STOP-FLOW-MATE FOR 3/4" & 1" HEADS
•	2" METER UNDER OTHER SECTION		POINT OF CONNECTION, IRRIGATION.
---	LATERAL LINE #1120-200 P.S.I. N.S.F. P.V.C. WITH SCH. 40 FITTINGS		
---	MAIN LINE STD. G.I. SCH. 40 PIPING		
---	2" P.V.C. SLEEVE FOR 24V CONTROL LINES		

# NOTES

1. SYSTEM DESIGN BASED ON 74 P.S.I. STATIC PRESSURE AT LOWEST ELEVATION. CONTRACTOR SHALL CHECK PRESSURE ON SITE AND REPORT ANY DISCREPANCY IN WRITING TO THE LANDSCAPE ARCHITECT BEFORE STARTING CONSTRUCTION OF THIS SYSTEM.
2. 120-V SUPPLY TO CONTROLLER AREAS IS UNDER OTHER SECTION. ALL 120-V AND 24-V CONNECTIONS ARE UNDER IRRIGATION SECTION.
3. THIS SYSTEM AND ALL ITS APPURTENANCES SHALL COMPLY WITH ALL GOVERNING PLUMBING, ELECTRICAL AND HEALTH CODES.
4. HEADS ON R.C.V.'S TO ARE: 1" 622-00-22, AND 3/4" 624-00-23 TORO HEADS.
5. INSTALL SPIDER BUBBLES FLUSH WITH GRADE AND TIGHT TO CORNER OF TREE WELL.
6. INSTALL 2" CONTROLLER IN MAINTENANCE ROOM. INSTALL 1" CONTROLLER IN EXISTING PUMP ROOM. NEXT TO EXIST'G CONTROLLER.
7. 120-V J-BOX TO CONTROLLER LOCATIONS [NOTED] AND 2" SLEEVE THRU STRUCTURE AT 3" CONTROLLER IS UNDER OTHER SECTION. ALL 120-V AND 24-V CONNECTIONS ARE UNDER OTHER SECTION.
8. ALL ELECTRIC AND PLUMBING WORKMANSHIP AND MATERIALS SHALL COMPLY WITH ALL GOVERNING CODES, N.E.C. AND U.P.C.
9. INSTALL ALL ANTI-DEBRIS CHECK VALVES IN THE SPRINKLER RISER AT BASE OF HEAD, BELOW GRADE.
10. ADJUST EACH ARC & RADIUS AND BALANCE EACH BATTERY TO OPTIMUM COVERAGE.
11. GENERAL CONTRACTOR SHALL CORE EXIST'G STRUCTURE & INSTALL 2" DIA CONDUIT FROM CONTROLLER THRU STRUCTURE, UNDER PAVING INTO PLANTING AREA AT LOCATION MARKED ON PLAN. SEAL STRUCTURE AROUND CONDUIT.
12. GENERAL CONTRACTOR SHALL PROVIDE A 25' X 125' X 4' LONG CYCLONE FENCE ENCLOSURE WITH HINGED GATES FOR BACK FLOW PREVENTER PROVIDE HASP FOR LOCKING.

TYPICAL BACK FLOW UNIT INSTALLATION  
NO SCALE

TYPICAL R.C.V./Q.C.V. INSTALLATION  
NO SCALE

TYPICAL SPRINKLER RISER INSTALLATION  
NO SCALE

TYPICAL SPRAY RISER INSTALLATION  
NO SCALE

GEORGE W. BELL  
IRRIGATION CONSULTANT  
1125 RIDGEWOOD DRIVE  
MILLBRAE, CALIF. PH. 593-9559

JUSTIN HERMAN PARK :: PHASE II  
EMBARRASSEMENT LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1

IRRIGATION PLAN

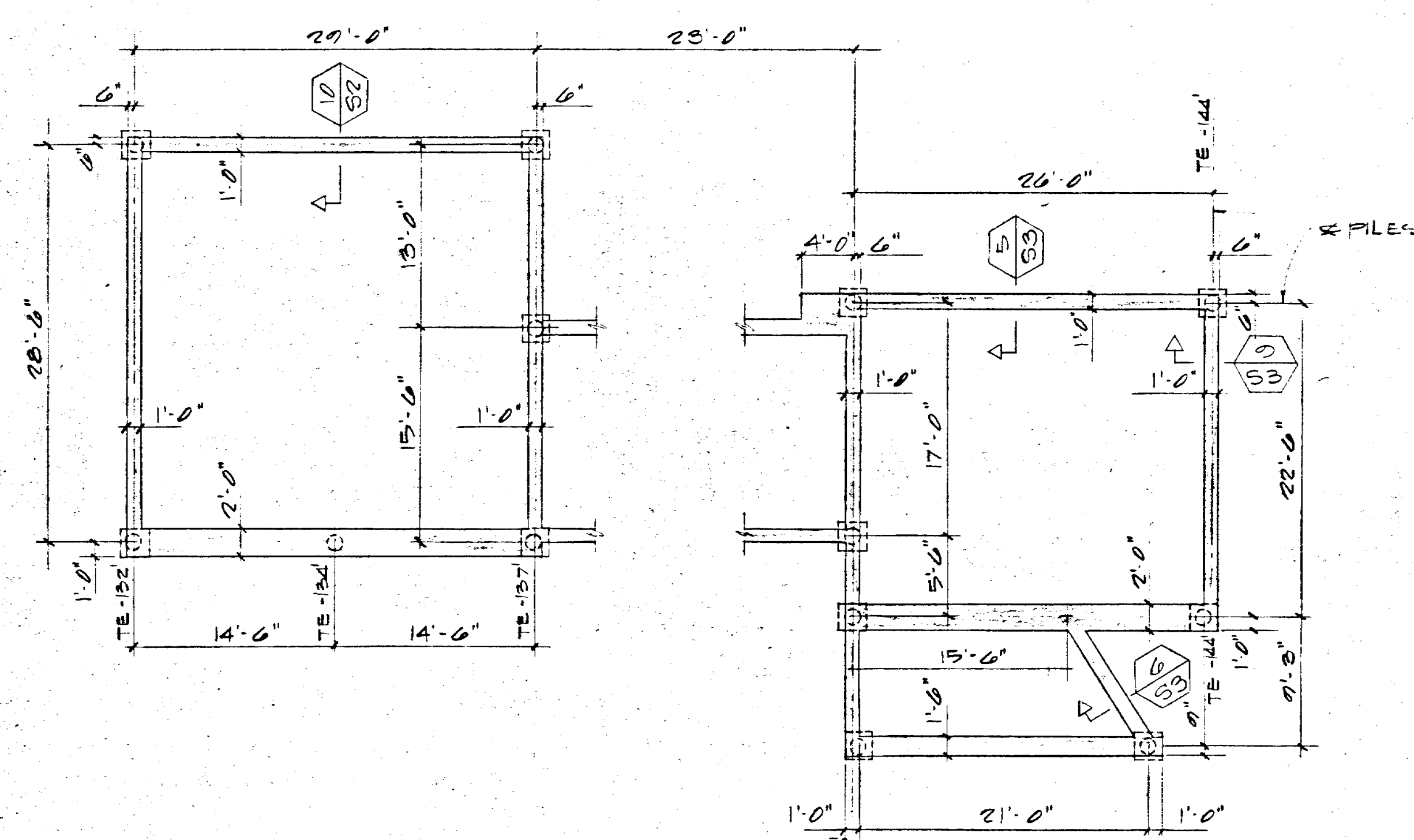
SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE  
SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE  
SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

JOINT VENTURE ARCHITECTS :  
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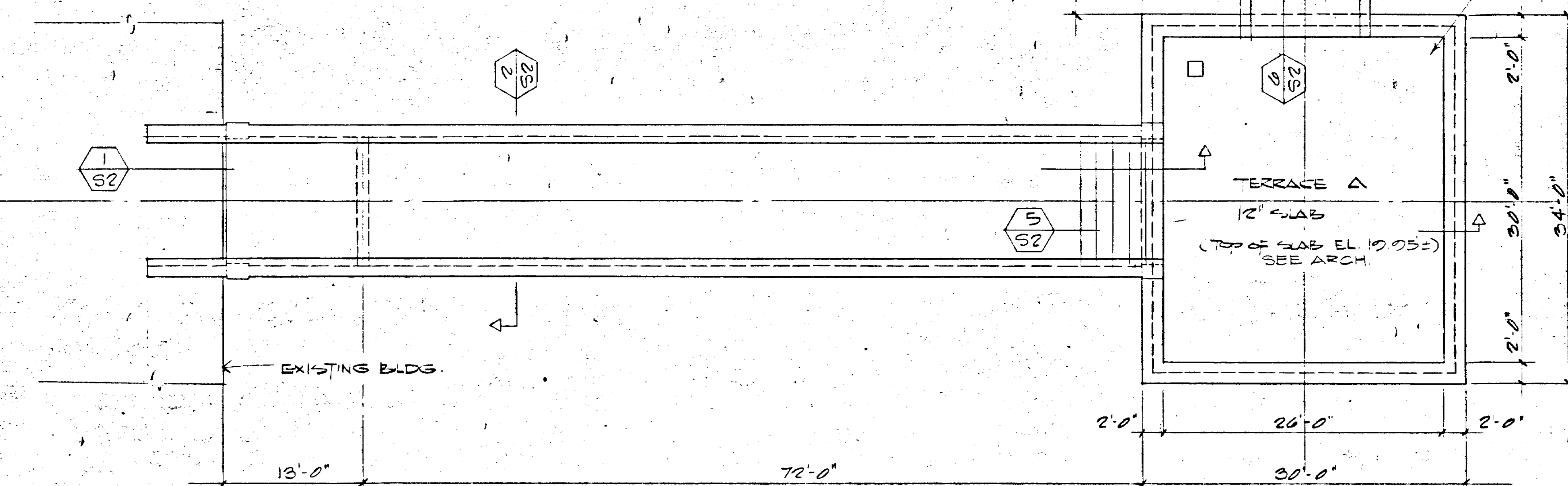
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DATE: 11/83  
DRAWN: G.S.

L-2  
SHEET 2 OF 2

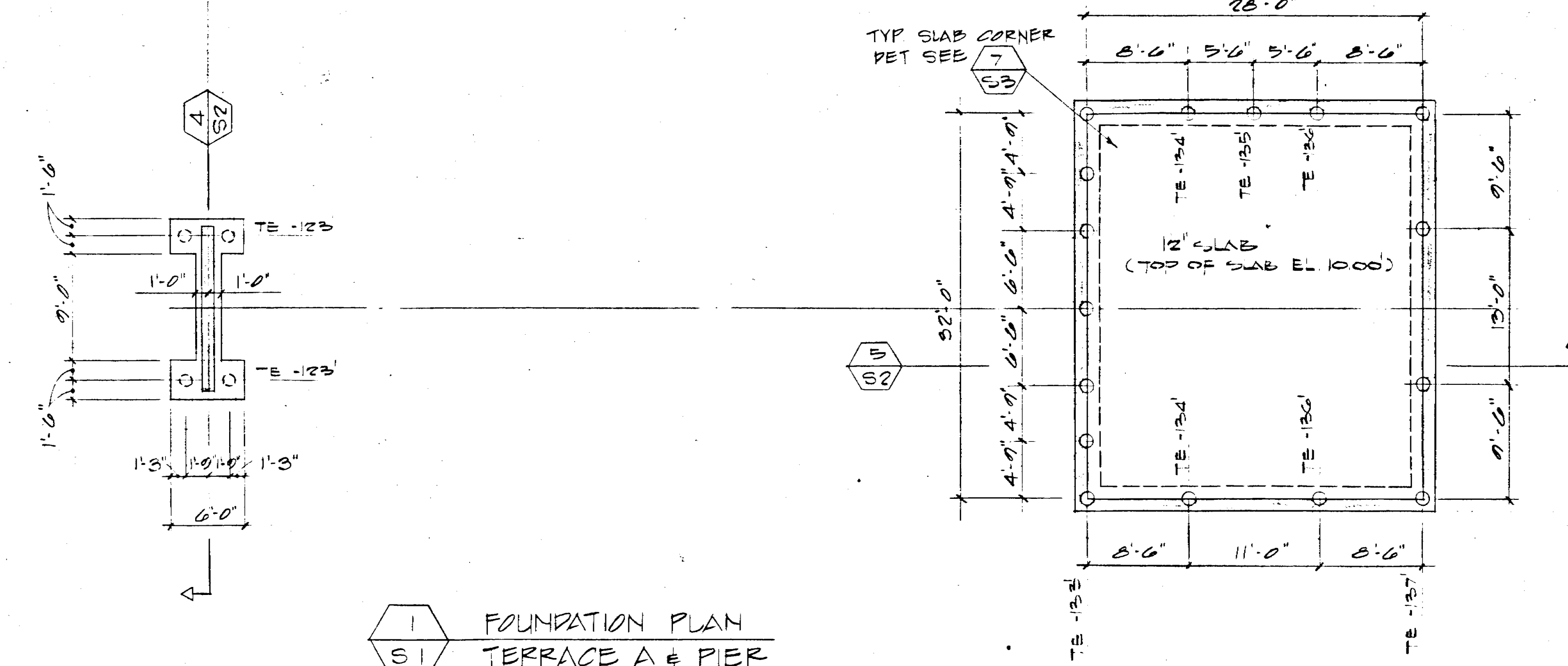




2 FOUNDATION PLAN TERRACE B & C  
1/8" = 1'-0"

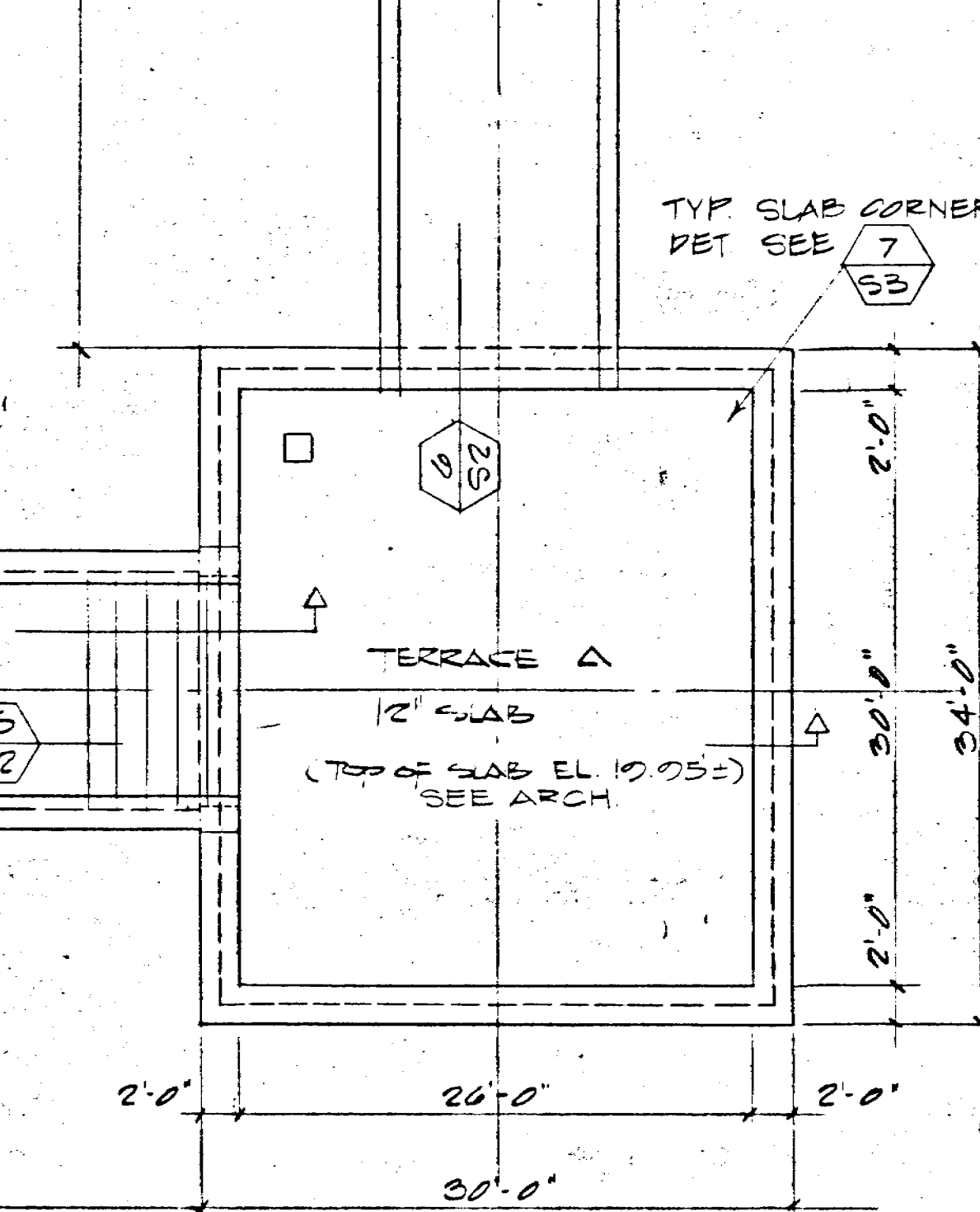
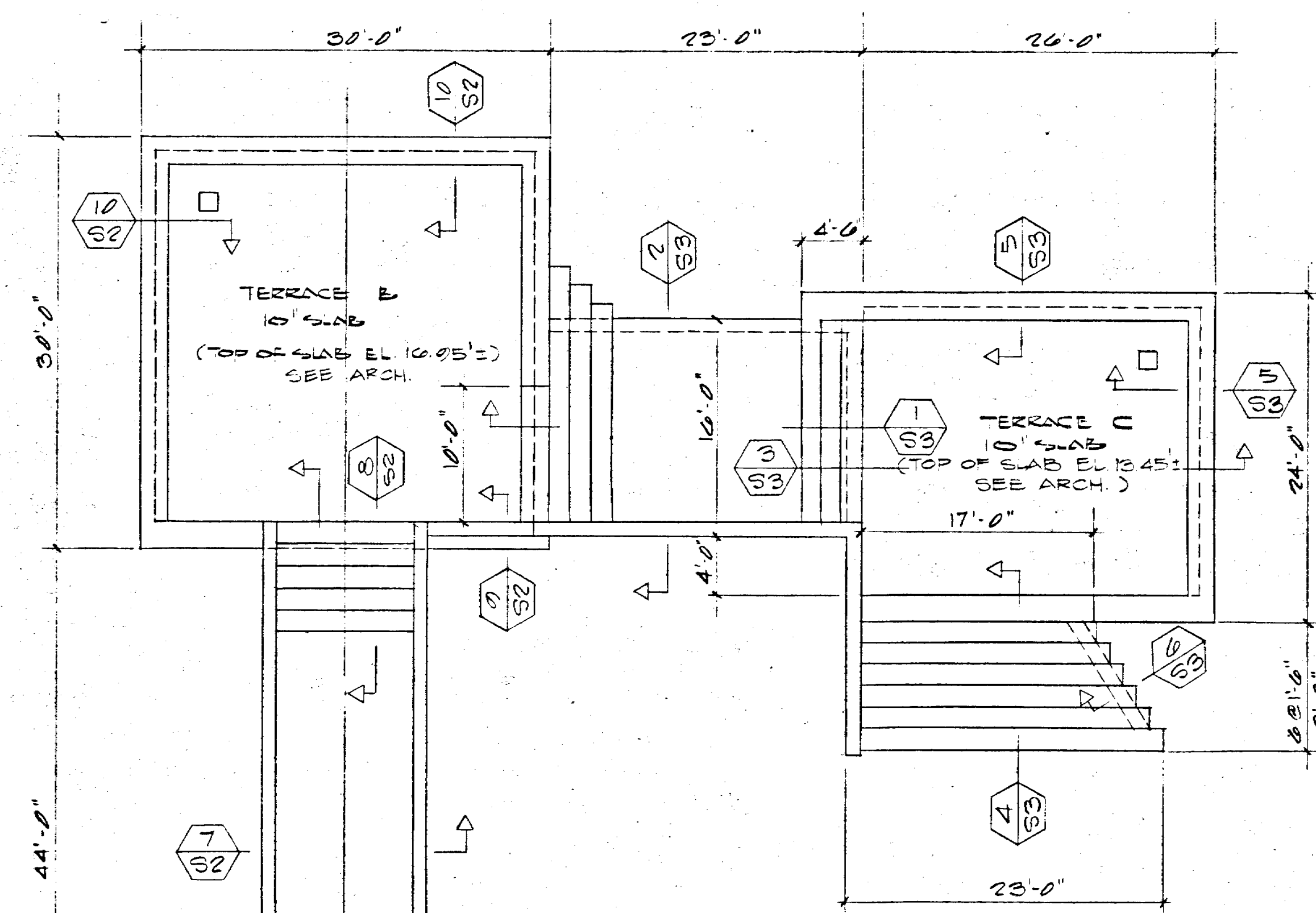


3 TERRACE PLAN  
1/8" = 1'-0"

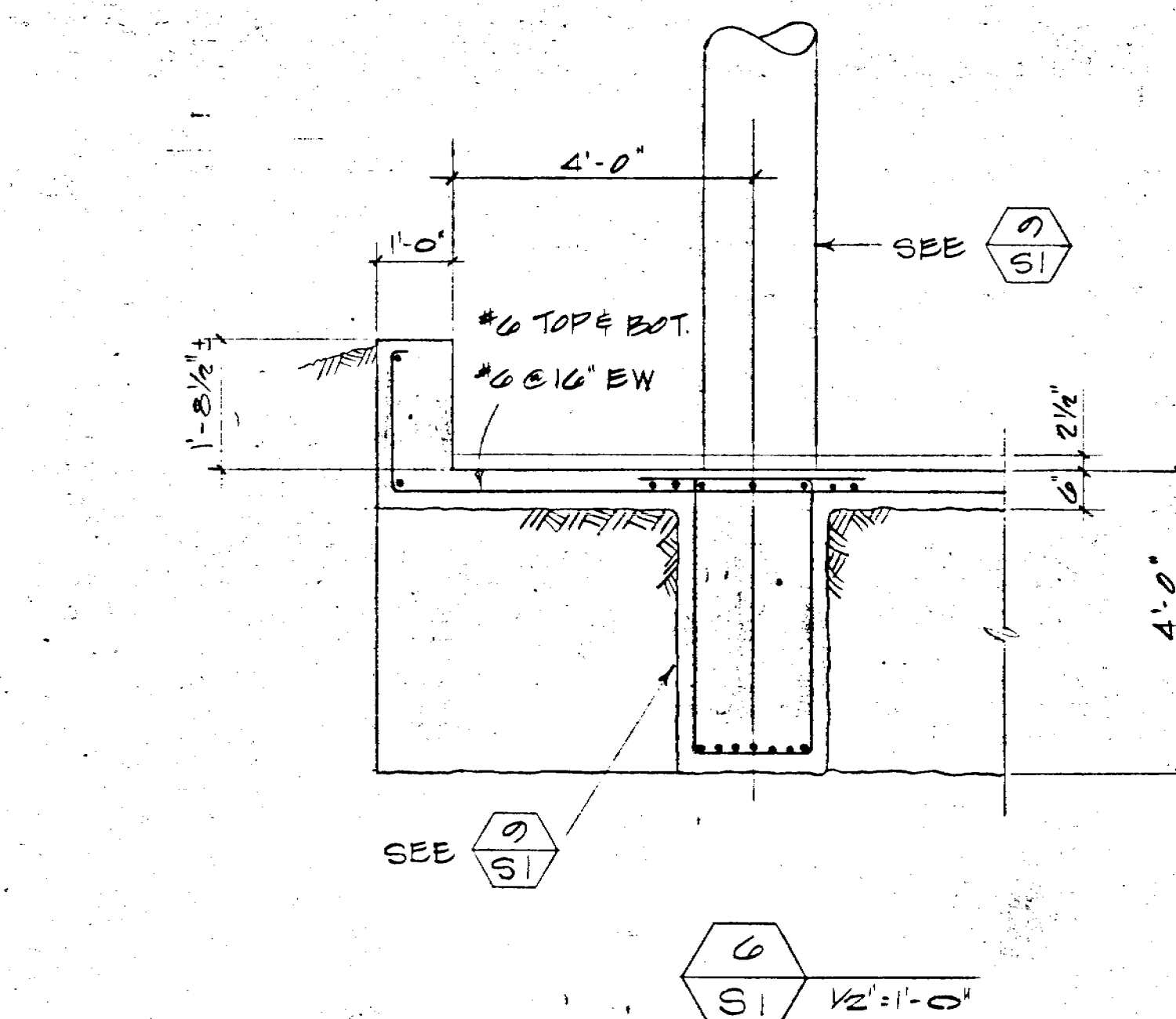
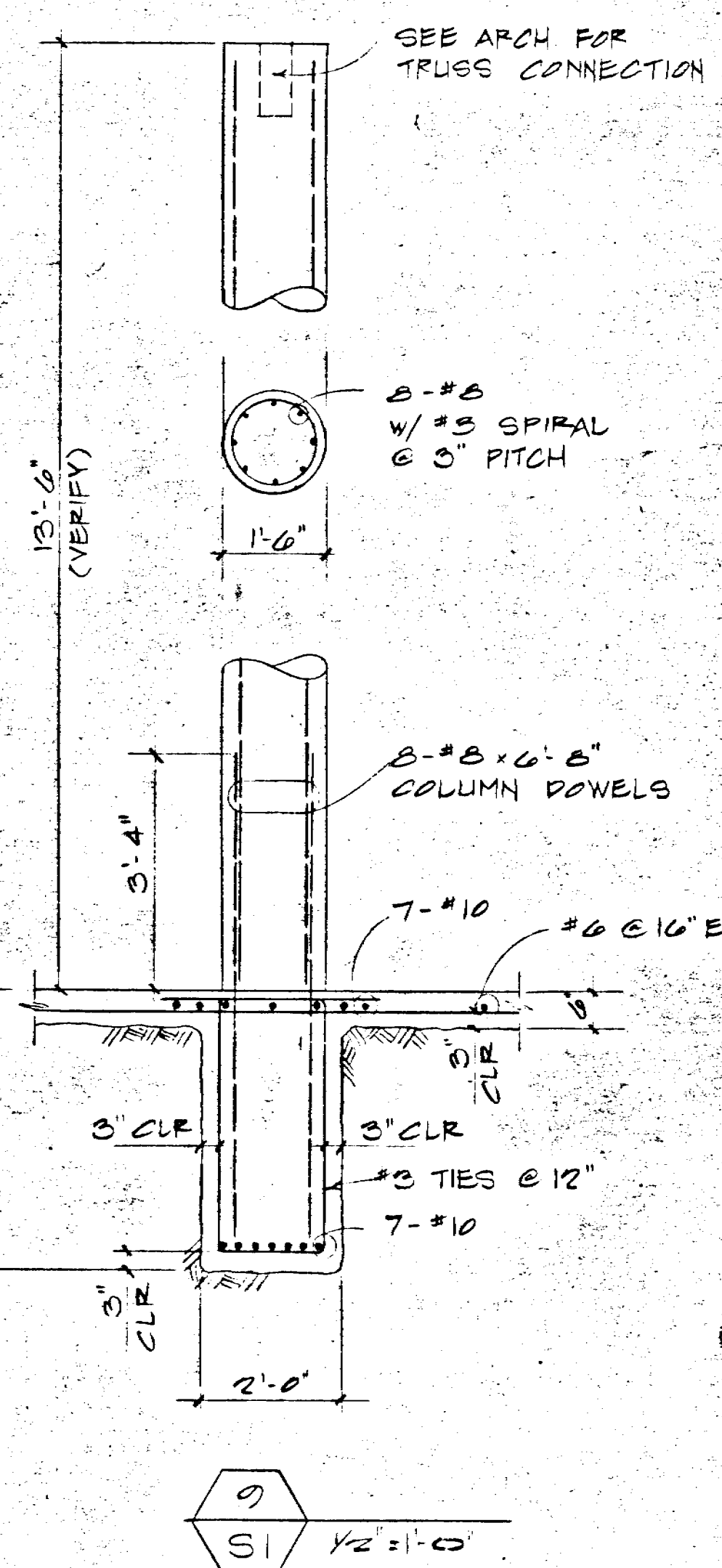
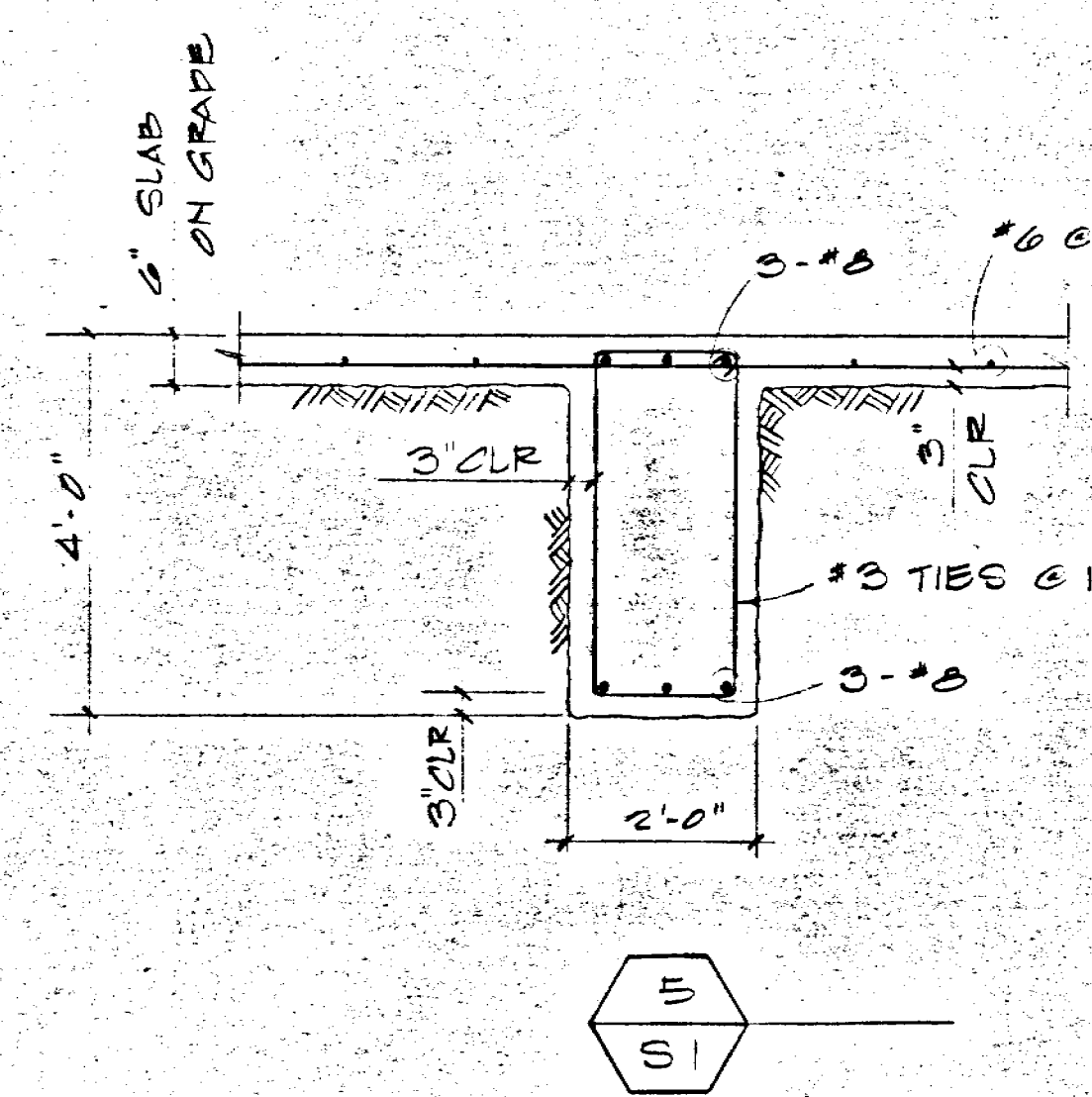
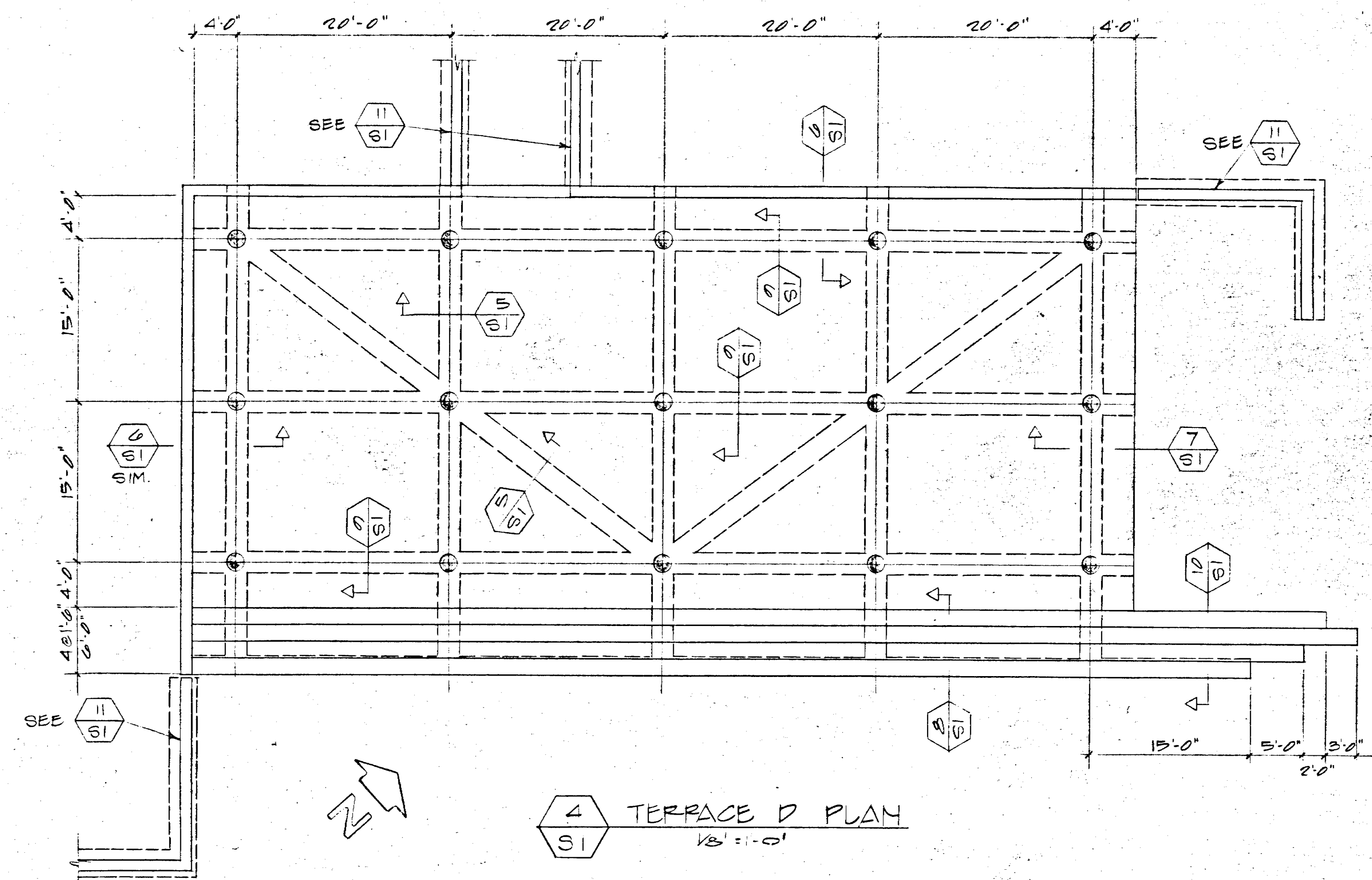


1 FOUNDATION PLAN TERRACE A & PIER  
1/8" = 1'-0"

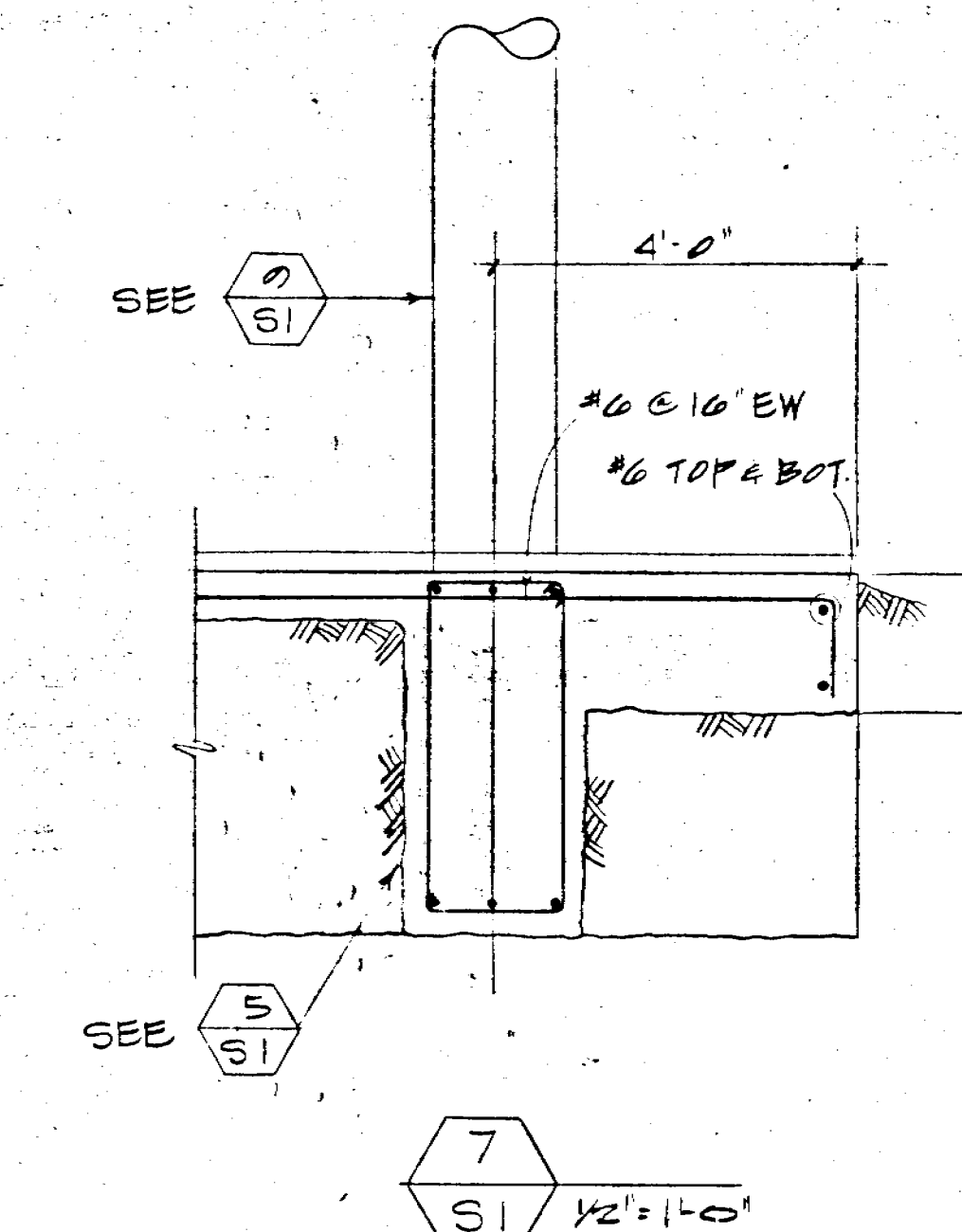
ALL ELEVATIONS BASED ON  
SAN FRANCISCO CITY DATUM



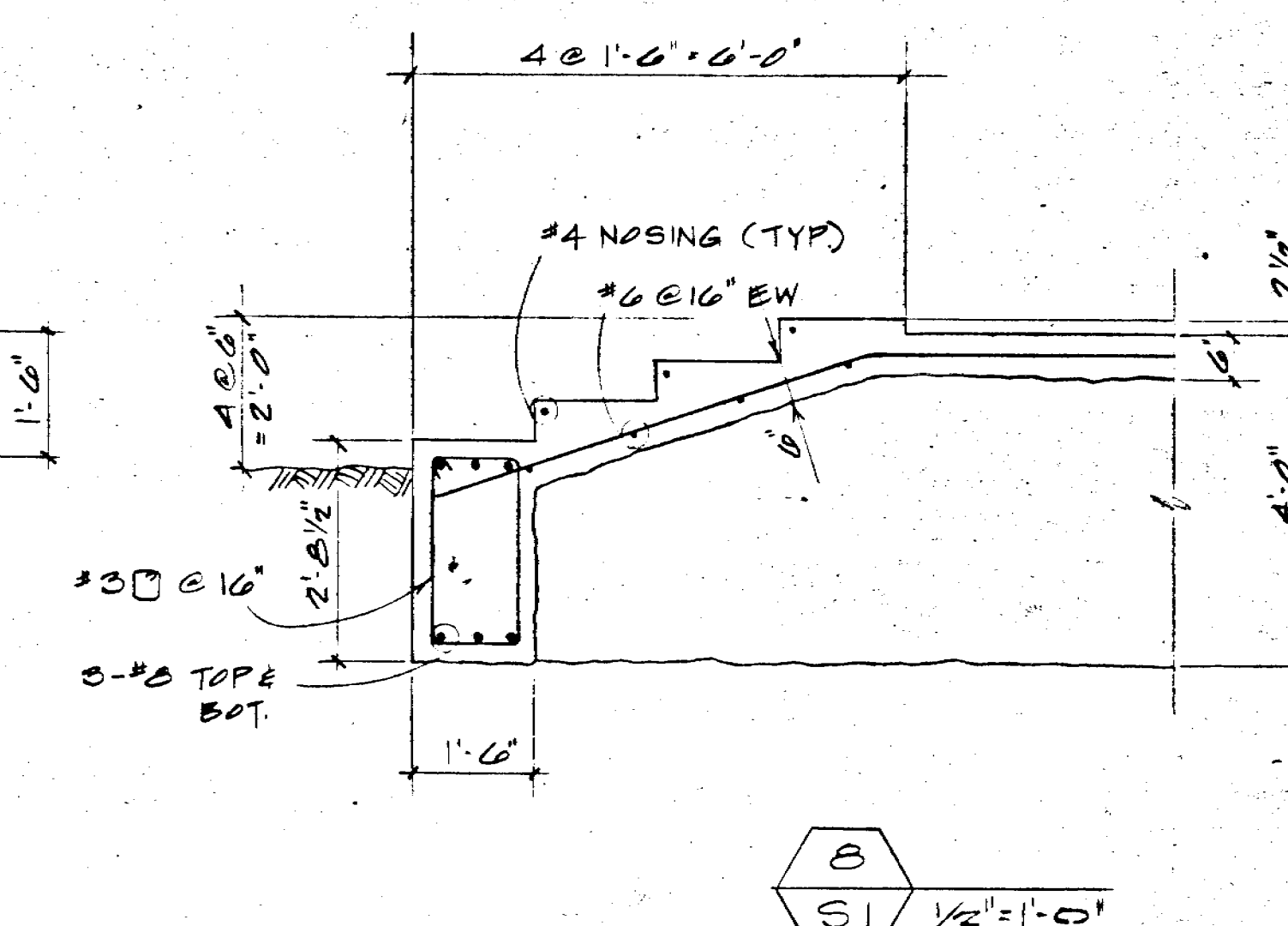
4 TERRACE D PLAN  
1/8" = 1'-0"



11 TYPICAL RETAINING WALL



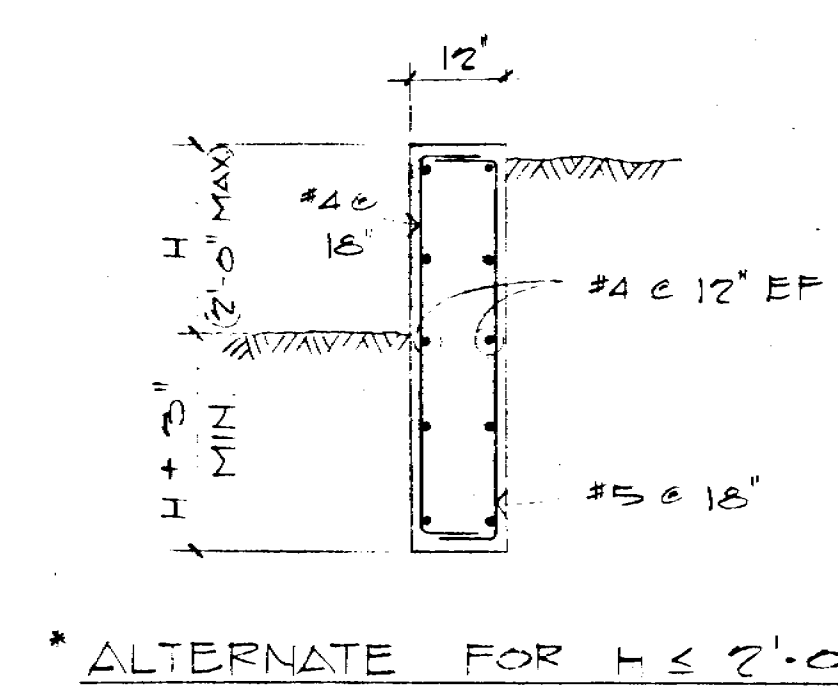
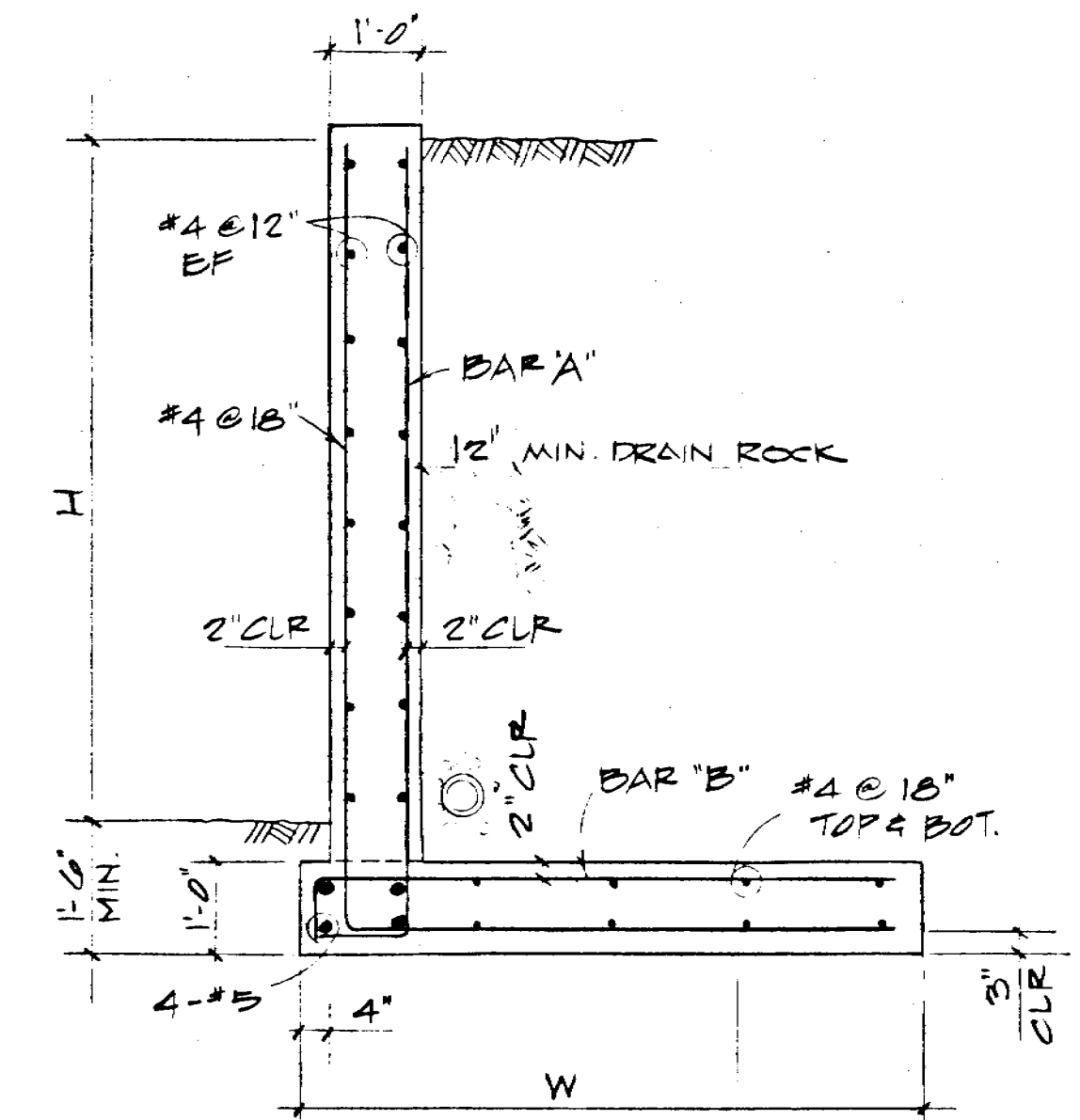
7 TYPICAL RETAINING WALL



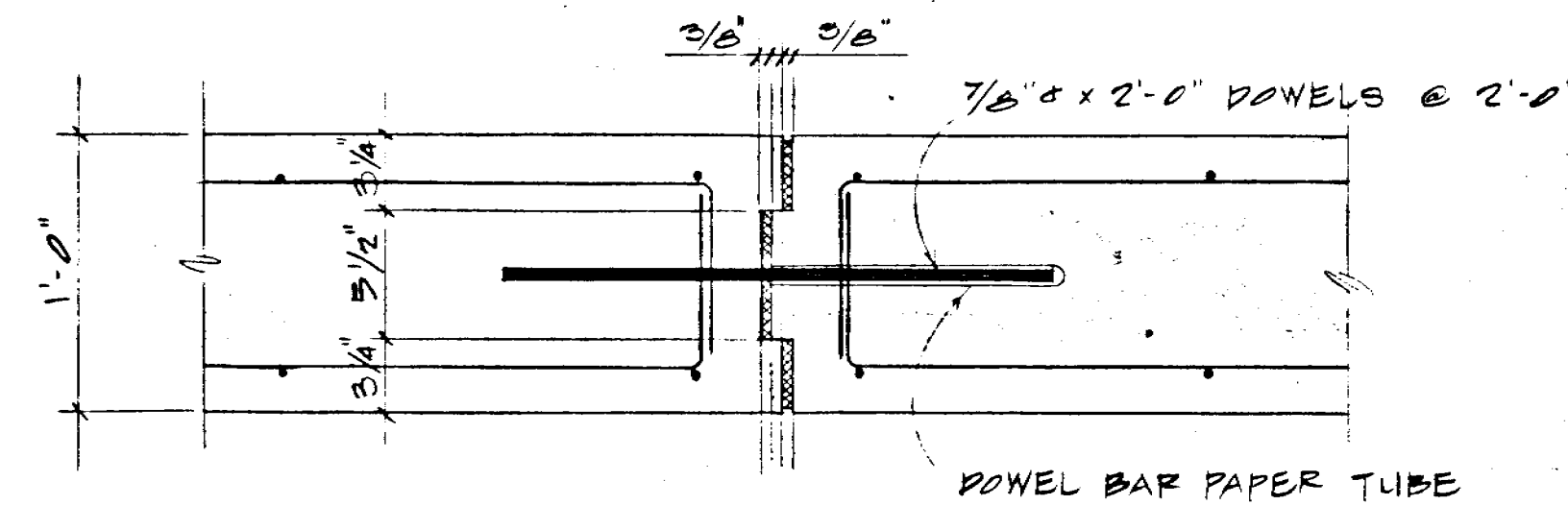
8 TYPICAL RETAINING WALL

RETAINING WALL SCHEDULE

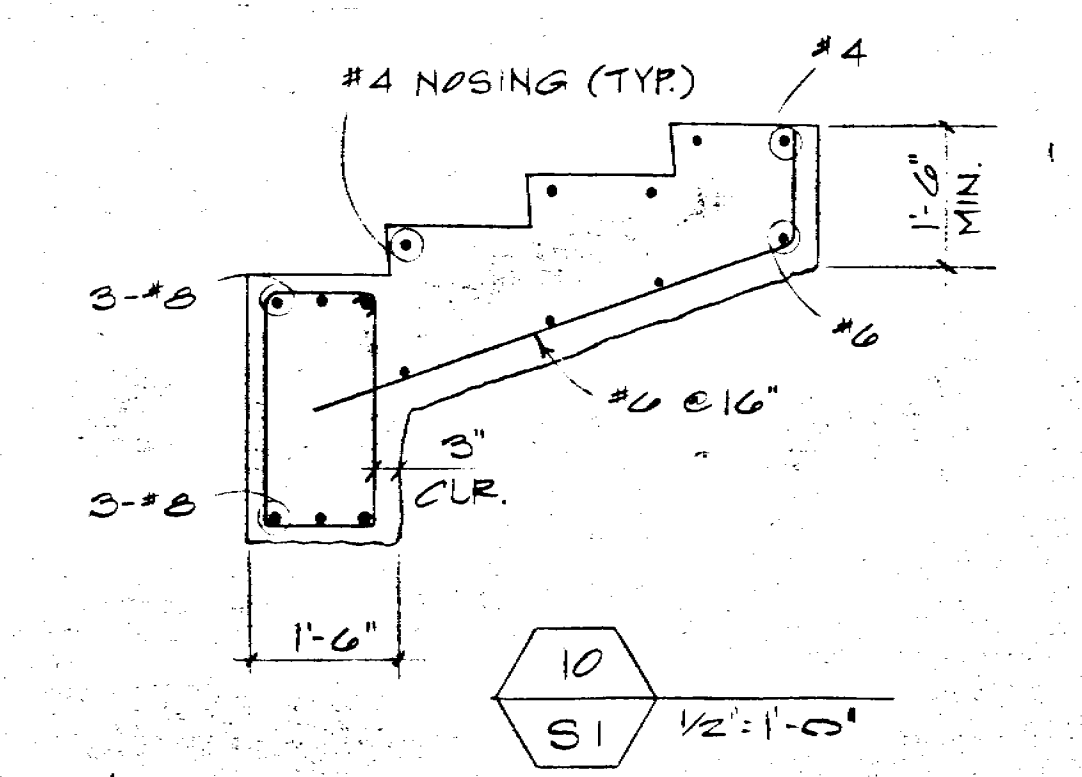
MAX. H. (FT.)	MIN. W. (FT.)	BAR 'A'	BAR 'B'
2'-0"	2'-0"	#5 @ 16"	#5 @ 16"
3'-0"	3'-0"	#5 @ 16"	#5 @ 16"
4'-0"	4'-0"	#5 @ 16"	#5 @ 16"
5'-0"	5'-0"	#5 @ 16"	#5 @ 16"
6'-0"	6'-0"	#5 @ 16"	#5 @ 16"
7'-0"	7'-0"	#5 @ 12"	#5 @ 12"



\* ALTERNATE FOR H < 2'-0"



12 TYPICAL RETAINING WALL EXPANSION JOINT



10 TYPICAL RETAINING WALL EXPANSION JOINT

## JUSTIN HERMAN PARK :: PHASE II

EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1

### PLANS & RETAINING WALL DETAILS

SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE  
SAN FRANCISCO RECREATION AND PARK DEPARTMENT AND THE  
SAN FRANCISCO DEPARTMENT OF PUBLIC WORKS

JOINT VENTURE ARCHITECTS :  
LAWRENCE HALPRIN & ASSOCIATES  
JOHN S. BOLLES ASSOCIATES  
MARIO J. CIAMPI & ASSOCIATES

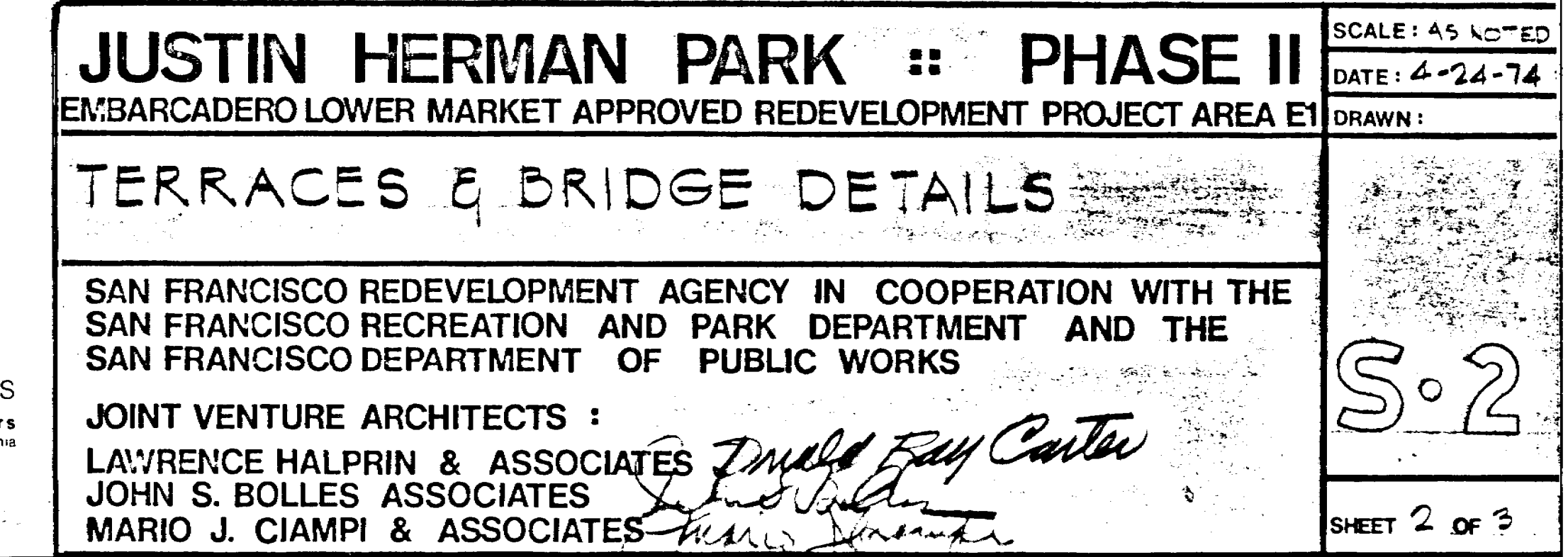
SCALE: AS NOTED  
DATE: 4-24-74  
DRAWN: S.1

SHEET 1 OF 3

GFDS ENGINEERS  
Civil and Structural Engineers  
185 Montgomery Street, San Francisco, California

Lawrence Halprin & Associates  
John S. Bolles Associates  
Mario J. Ciampi & Associates







# GENERAL NOTES

These notes apply to all drawings of this project unless specifically stated otherwise.

Contractor shall compare Structural Drawings with Architectural, Mechanical and Space Frame Drawings as to layout, details dimensions and elevations. Discrepancies and conflicts shall be reported to Architect for adjustment before proceeding with work.

Contractor shall verify existing conditions and dimensions at jobsite. Existing conditions requiring construction different from that shown shall be reported to Architect immediately.

Details shown are typical, similar details apply to similar conditions. Question of identification of applicable detail or structural member shall be brought to Architect for resolution before proceeding with work.

Design is in accordance with San Francisco Building Code. Construction shall conform to applicable sections of this code.

Contractor shall provide temporary shores, guys and bracing to rigidly and safely support loads including earth pressure and wind on forms, walls, beams, and columns until member and its supporting and bracing members have developed sufficient strength and rigidity to safely take over. Method of shoring shall be reviewed by Architect prior to placement of shoring. Time of removal of shoring shall be approved by Architect.

## SHOP DRAWINGS

Construction shall conform to the Contract Drawings and Specifications. Shop Drawings are clarification drawings for different trades and shall be submitted and reviewed by Architect prior to fabrication.

## FOUNDATIONS

Foundations have been designed in accordance with recommendations of "Soil Investigation, Justin Herman Park" prepared by Harding-Lavson Associates, dated November 15, 1973.

Footings for Terraces A, B, and C and west bridge pier are on piles. Pile are designed for 40 ton capacity in addition to down drag.

Footings for Terrace D and retaining walls shall be supported on engineered fill.

## CONCRETE

Concrete shall be reinforced unless specifically called out unreinforced. Where congestion of reinforcing steel, etc. will cause problem in placing and vibrating concrete, Contractor may use concrete mix with reduced size coarse aggregate, providing it meets requirements of Specifications.

Concrete for east-west bridge (prestressed) shall attain an ultimate compressive strength of 5000 psi at 28-days. Concrete for all other structures shall attain 3000 psi at 28-days.

Detailing, fabricating, placing and supporting reinforcement shall be equal to that of "Standard Practice for Detailing Reinforced Concrete Structures", ACI 315.

Reinforcing bars noted or shown continuous shall run in as long lengths as practicable with lap splices staggered. Unless otherwise noted, minimum lap splice lengths shall be as noted in following schedule. (\*Top bars are horizontal bars so placed that more than 12 inches of concrete is cast in member below bar.)

Bar Size	#3	#4	#5	#6	#7	#8	#9	#10	#11
Top Bars*	12"	15"	18"	24"	32"	42"	53"	68"	83"
Others	12"	12"	14"	17"	23"	30"	38"	48"	59"

Splice lengths shall be increased 30% where adjacent bar splices are not staggered one splice length minimum.

Reinforcement, bolts, inserts, etc. shall be accurately located in forms and positively secured in place by means of approved supports.

Minimum concrete coverage to face of bar shall be:

- 3" where concrete is placed against earth.
- 2" where concrete is exposed to earth but placed against forms.
- 1 1/2" at exterior face of walls and to ties or stirrups in columns and beams.
- 3/4" at interior faces of walls.

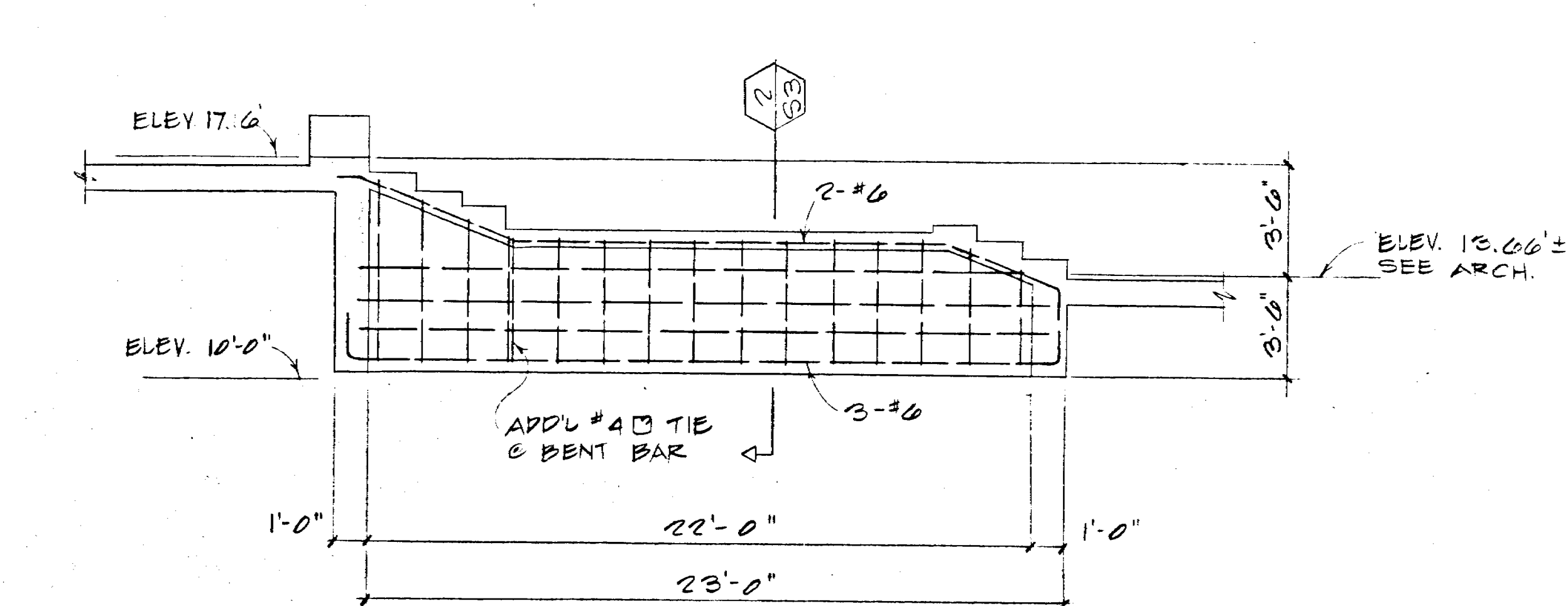
Location of construction joints shall be approved by Architect. Construction joint surfaces shall be roughened by sandblasting. In addition vertical joint shall be thoroughly wetted and slushed with a coat of neat cement grout immediately before placing new concrete.

Prestressing tendon in its conduit and with its anchorages shall be accurately placed in forms. Tendon shall drape in smooth curve through dimension points shown on drawing.

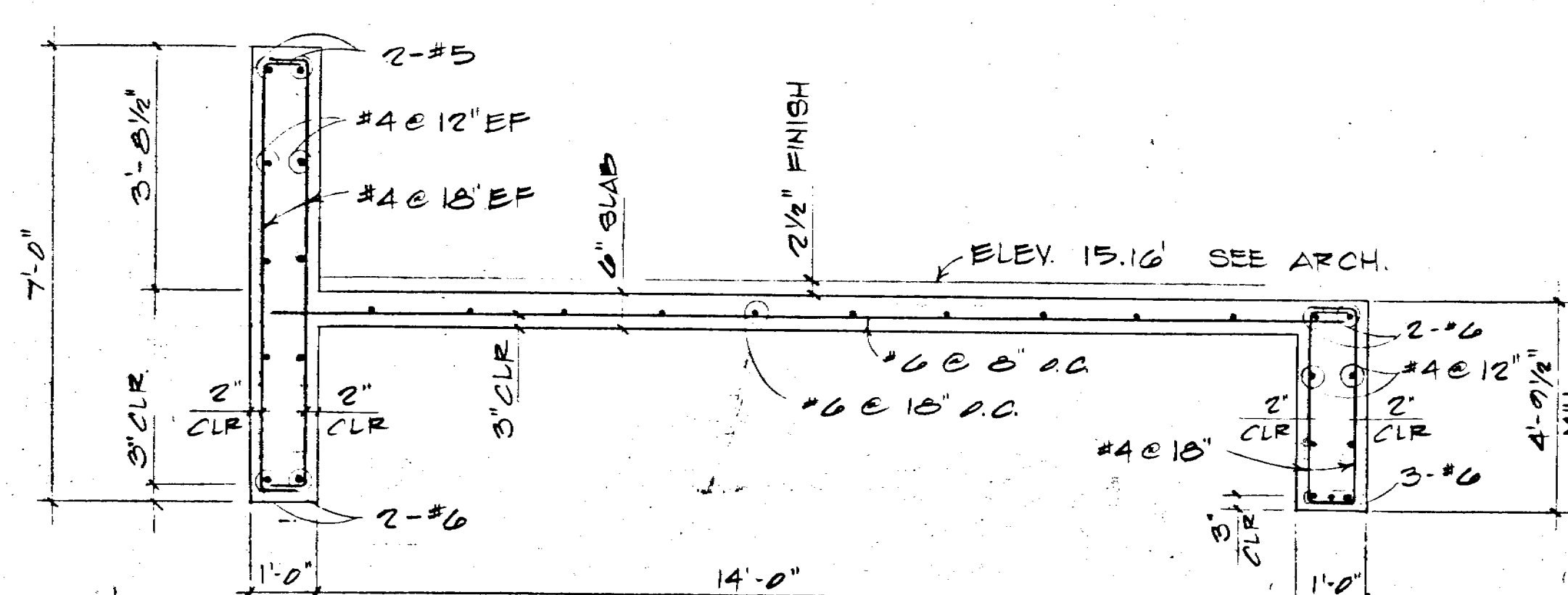
Tendon shall not be stressed until concrete has attained strength of 4000 psi. Sufficient test cylinders should be made and tested by Contractor's Testing Laboratory to monitor concrete strength.

Placement of mild steel and prestress reinforcement, placement of concrete, and stressing of tendons will be specially inspected. Notify Architect and Owner's Testing Laboratory 24 hours minimum in advance of performing these operations.

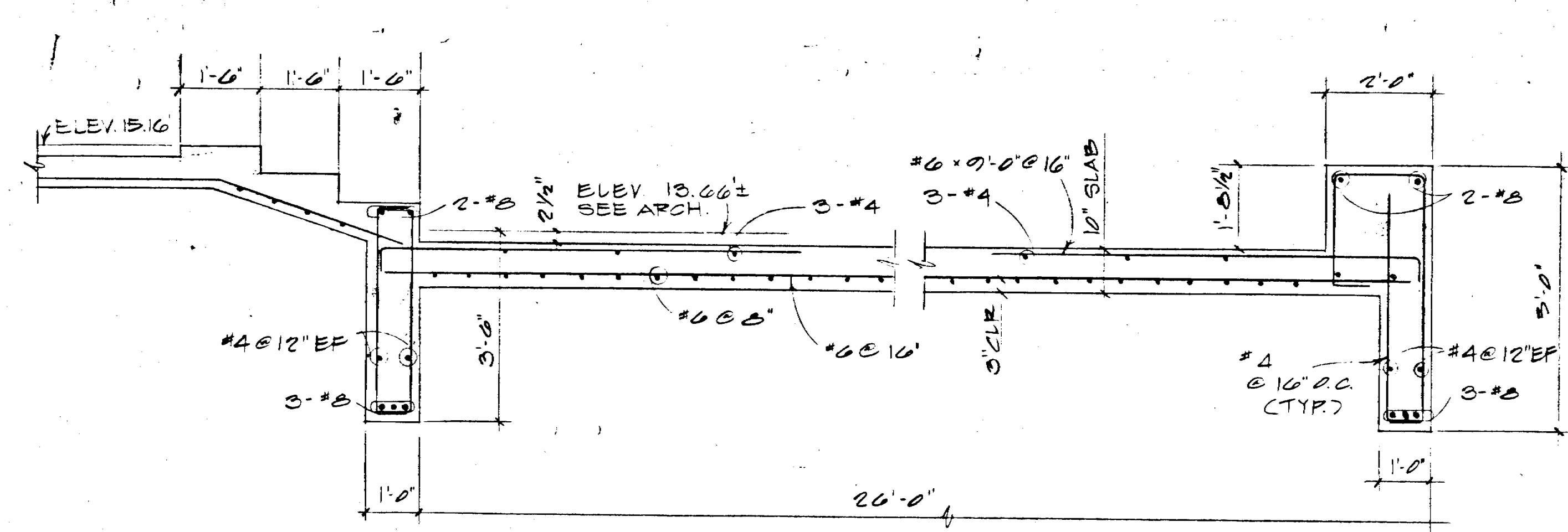
Tendon shall be embedded in pressure grout after stressing.



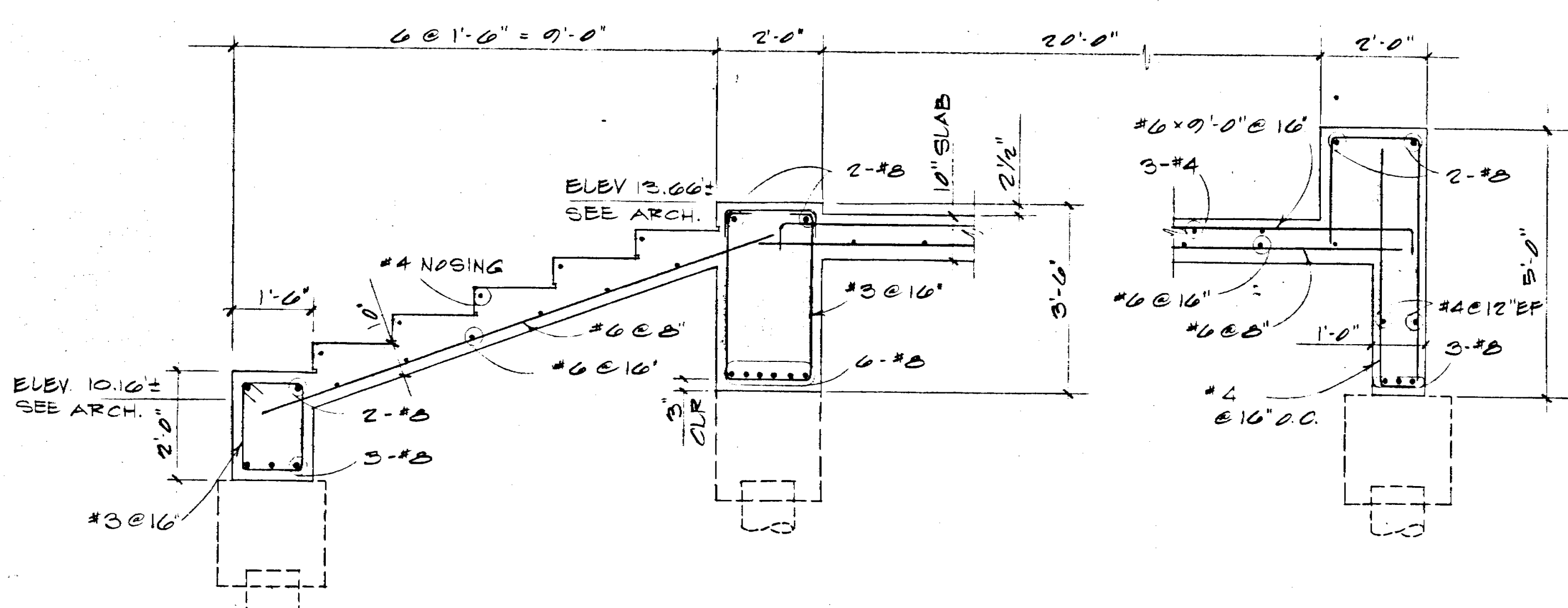
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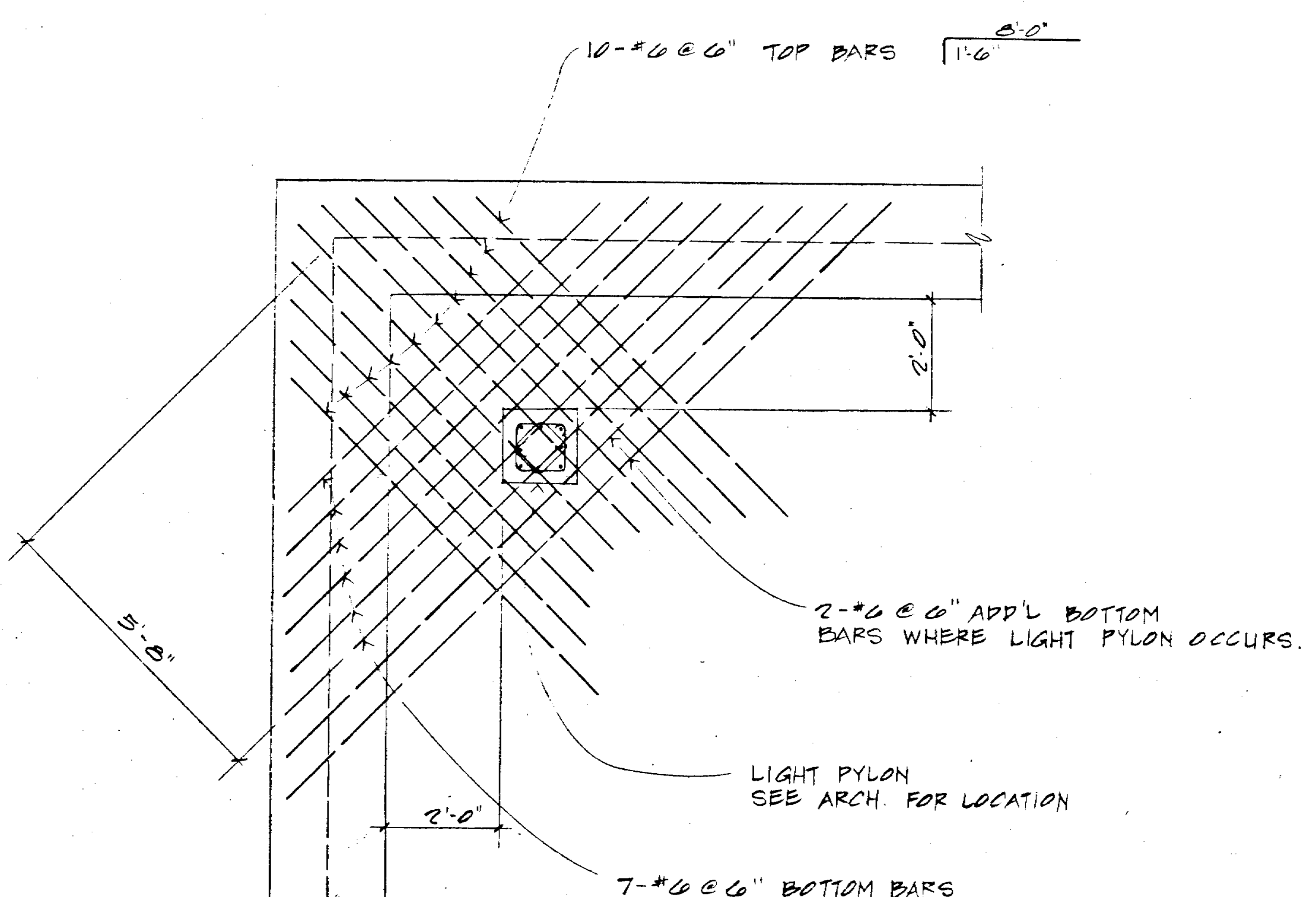
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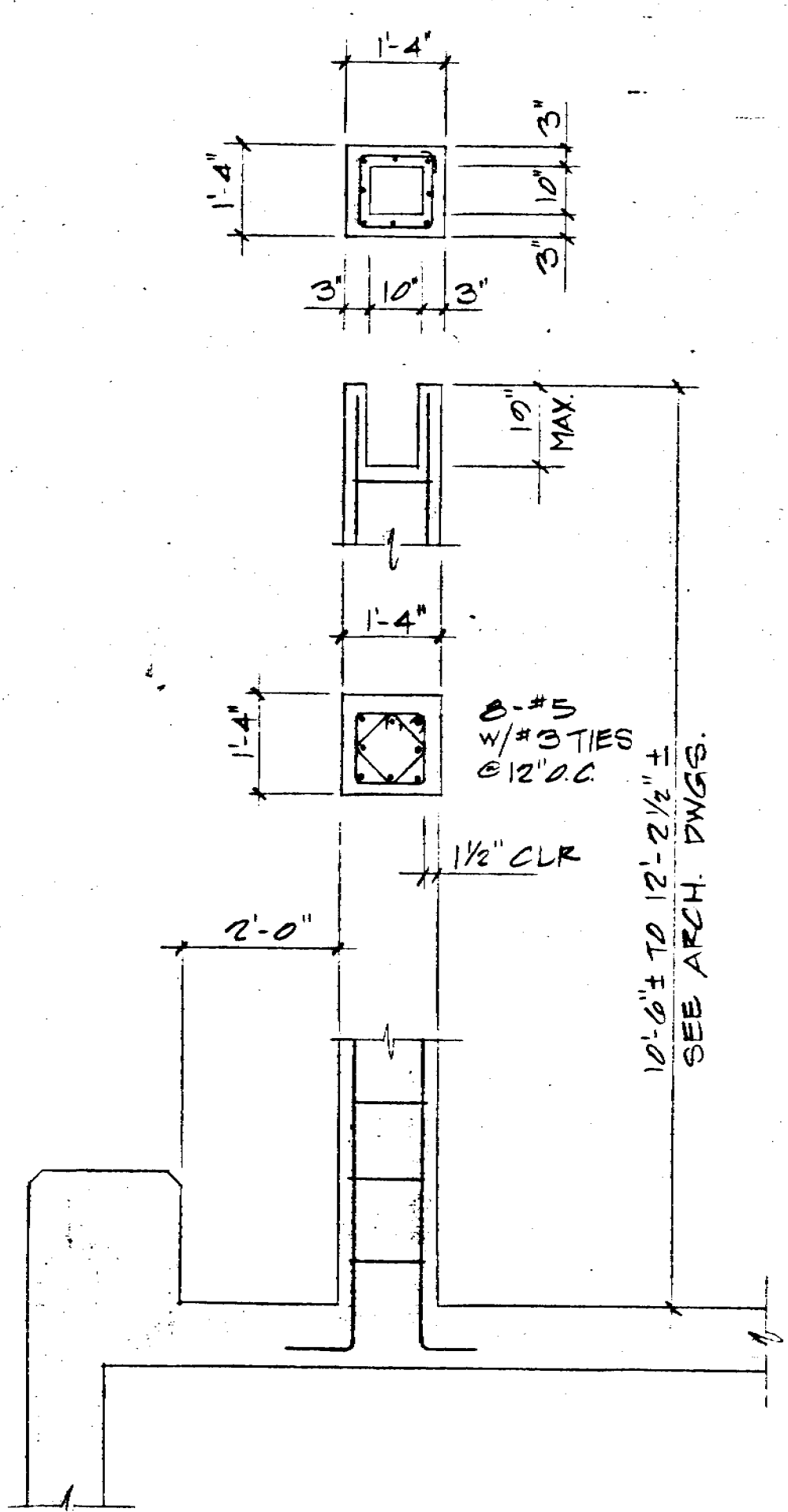
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S3



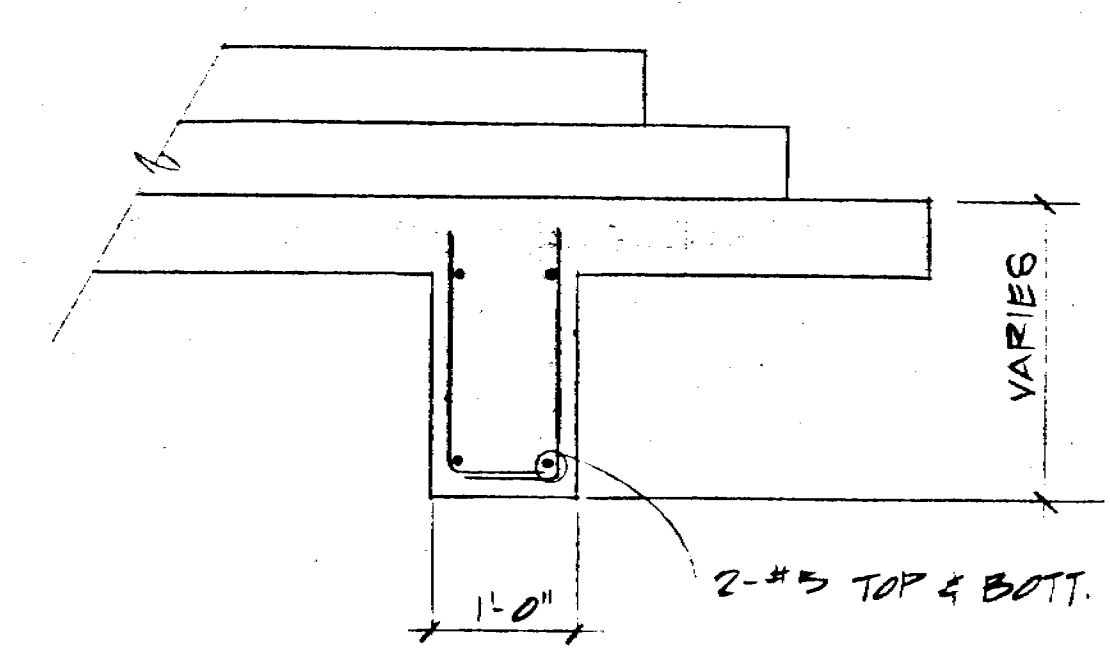
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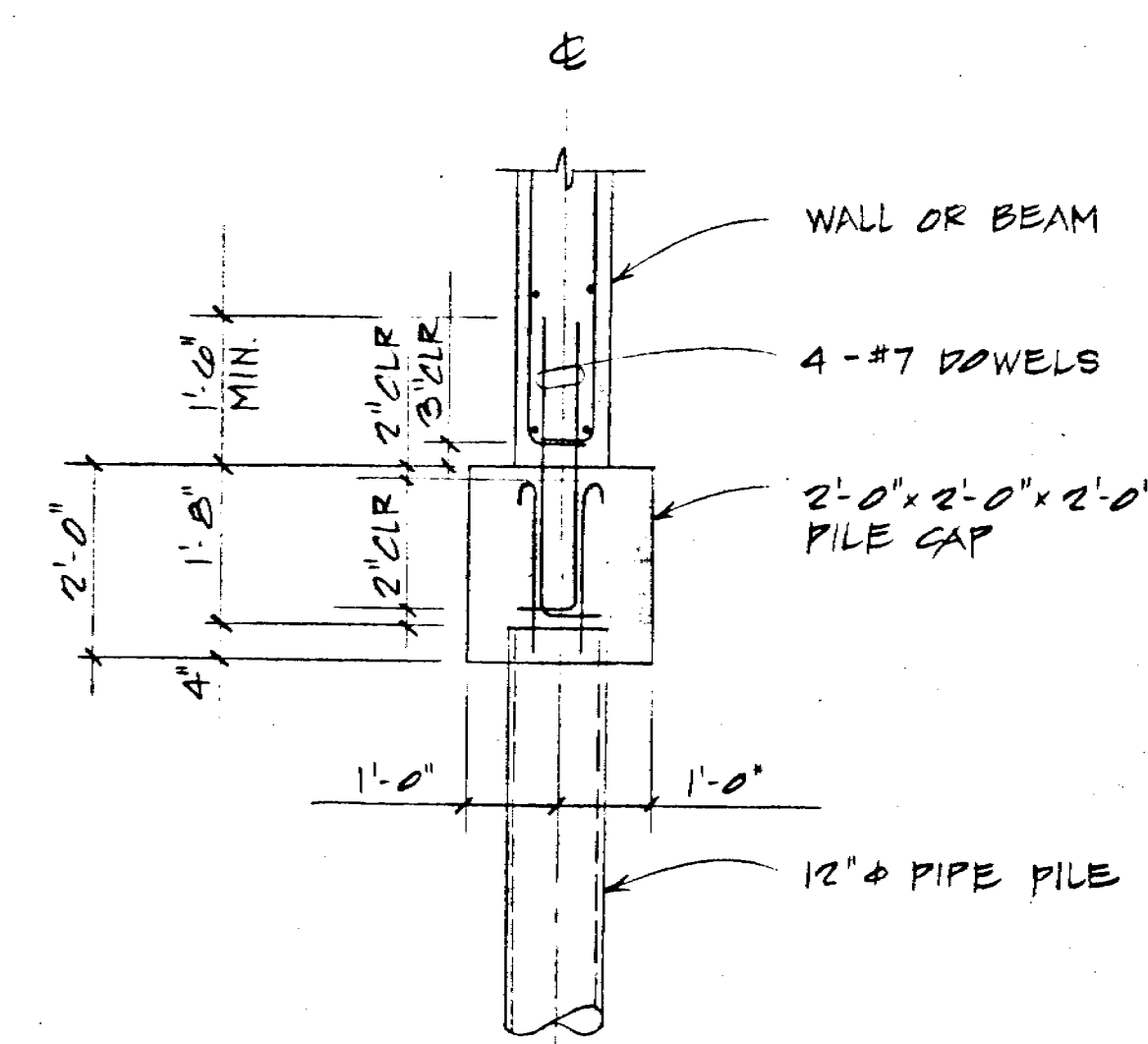
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S3 TYPICAL SLAB CORNER DETAIL



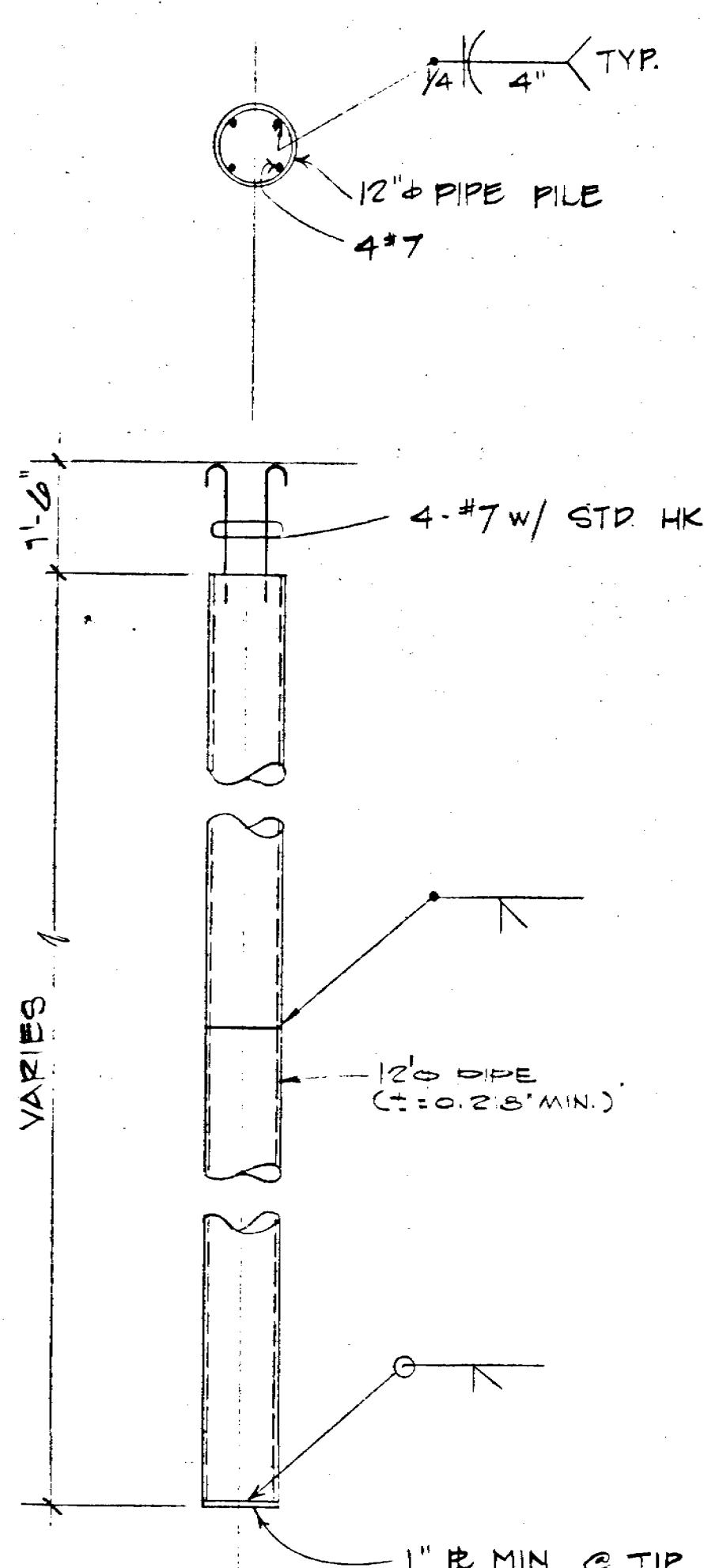
6  
S3 PYLON DETAIL



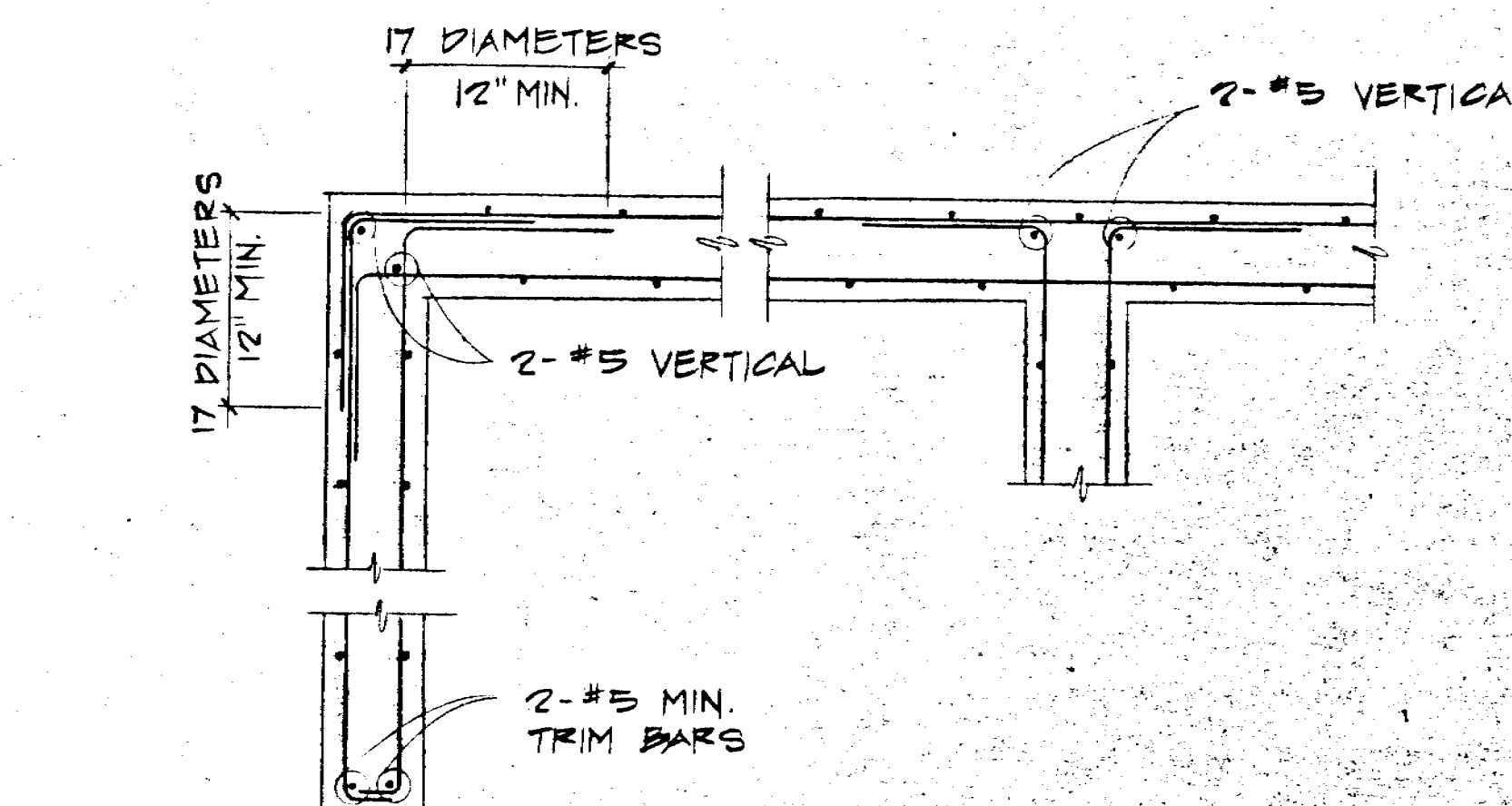
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S3



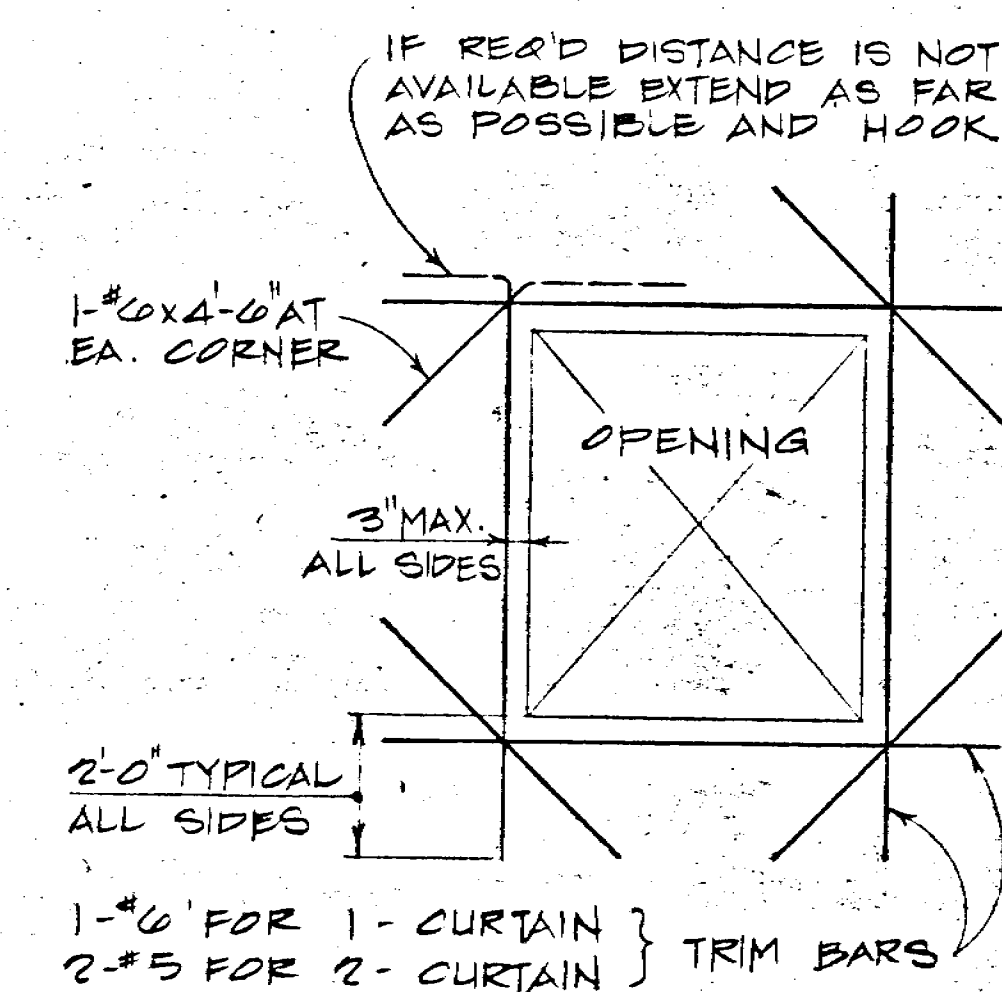
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S3 TYPICAL PILE CAP DETAIL



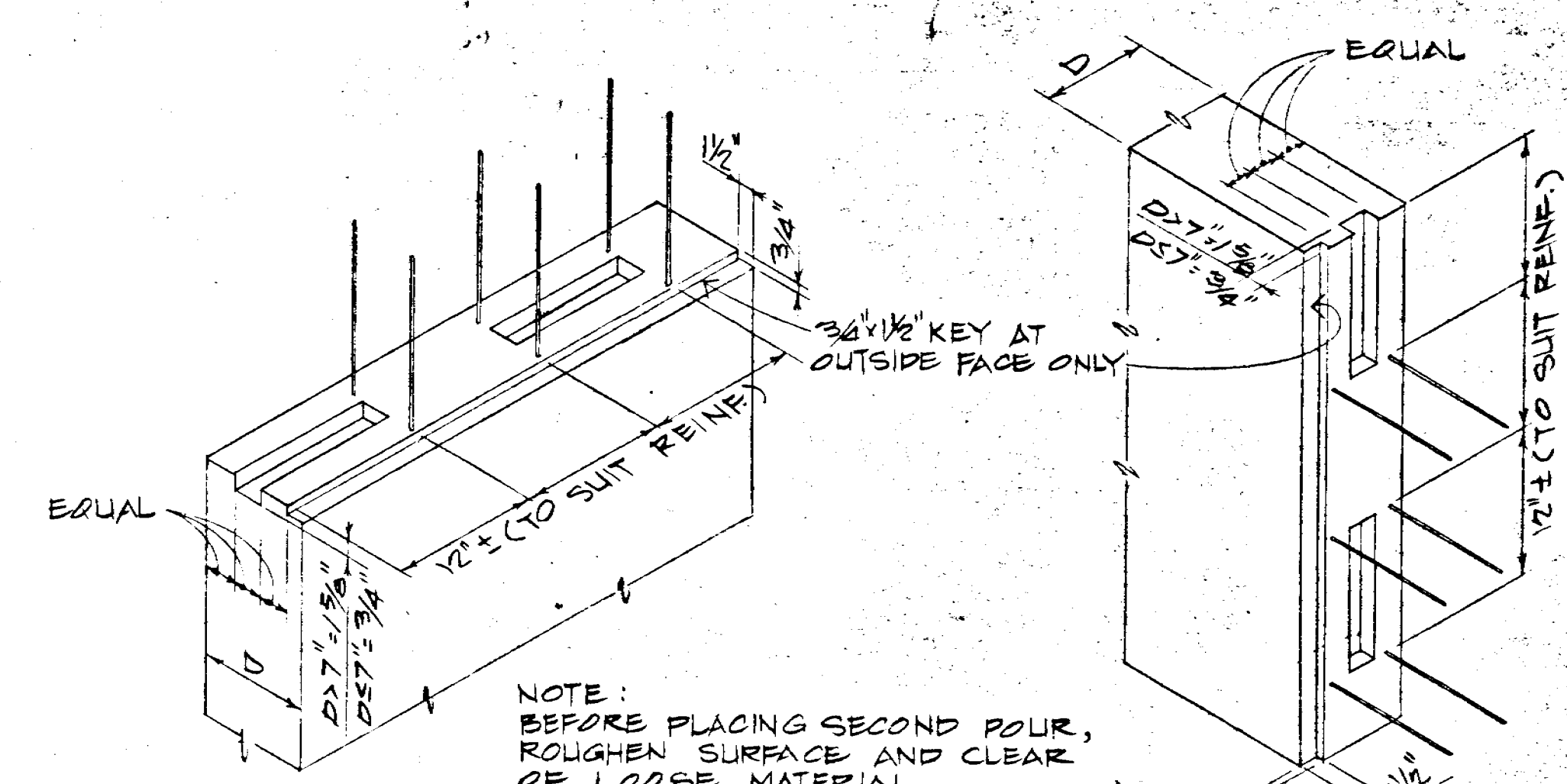
9  
S3 TYP. PIPE PILE DETAIL



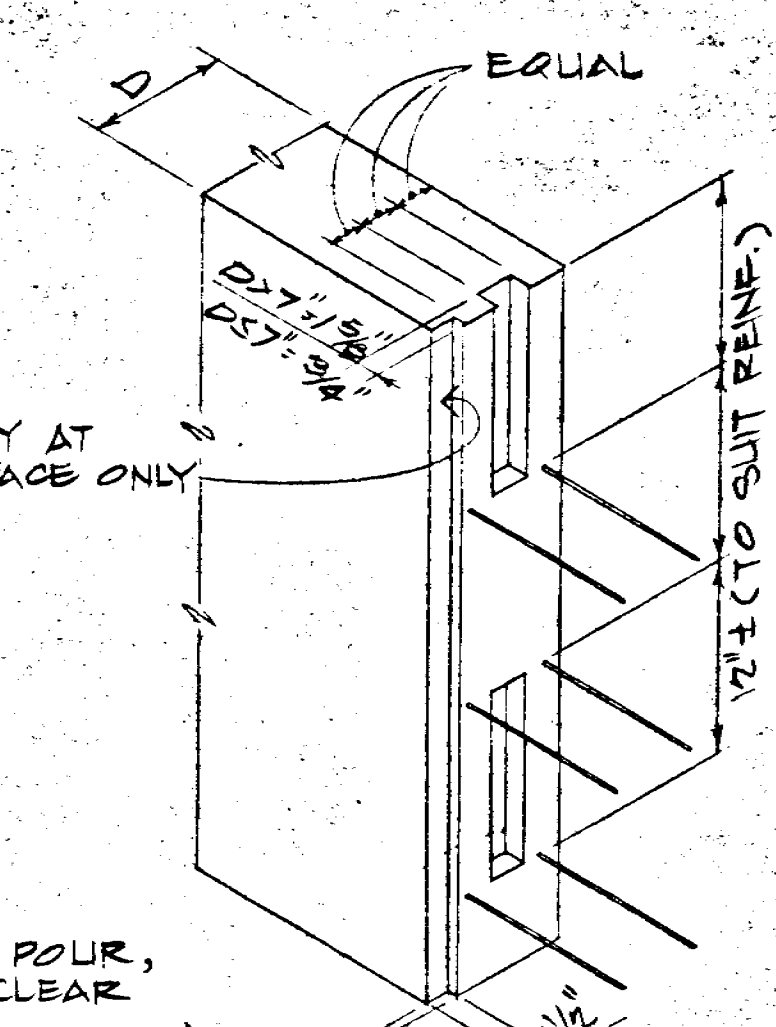
10  
S3 CONCRETE WALL REINFORCEMENT (FOOTING REINFORCEMENT SIMILAR)



11  
S3 OPENING IN WALL



12  
S3 HORIZONTAL JOINT



13  
S3 VERTICAL JOINT

CONSTRUCTION JOINTS IN WALLS

**JUSTIN HERMAN PARK**
**PHASE II**

EMBARCADERO LOWER MARKET APPROVED REDEVELOPMENT PROJECT AREA E1

DATE: 12-24-74  
 DRAWN:

**DETAILS & GENERAL NOTES**

SAN FRANCISCO REDEVELOPMENT AGENCY IN COOPERATION WITH THE  
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 MARIO J. CIAMPI & ASSOCIATES

SCALE: AS NOTED  
 SHEET 3 OF 3

GFDS ENGINEERS  
Civil and Structural Engineers  
1605 Montgomery Street San Francisco California  
*Walter E. Gifford*



## Appendix F – Preparer Qualifications

This Historic Resource Review report was prepared by Page & Turnbull of San Francisco, California. Page & Turnbull staff responsible for this report include Carolyn Kiernat, FAIA, Principal-in-Charge; Elisa Skaggs, AIA, project manager; and Hannah Simonson, Senior Cultural Resources Planner, and Samantha Purnell, Cultural Resources Planner, co-authors. All staff involved meet or exceed the Secretary of the Interior's Professional Qualification Standards for Historic Architecture, Architectural History, or History.



## PAGE & TURNBULL

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523 WEST 6TH STREET, SUITE 1013 LOS ANGELES, CALIFORNIA 90014 TEL 213-221-1200  
1007 7TH STREET, #404 SACRAMENTO, CALIFORNIA 95814 TEL 916-930-9903  
75 EAST SANTA CLARA STREET, SUITE 900 SAN JOSE, CALIFORNIA 95113 TEL 408-320-7911